

# FACILITY CONDITION ASSESSMENT

## TOWN OF WILTON – TOWN BUILDINGS

Wilton, Connecticut



Prepared for:

**TOWN OF WILTON**  
**238 Danbury Road**  
**Wilton, CT 06897**

Attention: Mr. Jeff Pardo  
Jeff.pardo@wiltonct.org

Marx|Okubo Job No. 23-2104

Draft: February 2, 2024

**TOWN OF WILTON – TOWN BUILDINGS**  
**Wilton, Connecticut**

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**Wilton, Connecticut**

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## **I. EXECUTIVE SUMMARY**

The Town of Wilton Buildings included in this report consist of over 11 buildings situated across 5 sites with separate addresses. The properties are located throughout the town with close to half of them concentrated in the Town Hall site, at 238 Danbury Road. The assets were constructed over the past centuries, with reported original construction dates ranging from around 1915 to 2007. Various buildings or portions of buildings have gone through renovations, additions, and changes of use. The Buildings within the portfolio are generally one to two story structures and range from poor to fair condition overall.

All of the assets that comprise the Town of Wilton buildings are owned, occupied, and managed by the Town, except the G&B Cultural Center, which is owned by the Town of Wilton and leased to the current tenant. It is our understanding that The Town of Wilton is generally responsible for the maintenance and repair of the properties' envelope (roof, façades, windows, doors, etc.), heating, plumbing, and electrical systems, common element interior spaces (vestibules, basements, etc.), and the buildings' site (exterior stairs, pavement, retaining walls, etc.), except at the G&B Cultural center, where the lessee is reportedly responsible for minor repairs only.

The purpose of Marx|Okubo's Facility Condition Assessment is to review the current condition and repair needs of each of the Town of Wilton assets to support capital planning.

Marx|Okubo's findings and recommendations are provided in the individual Capital Reserve Schedules included in this report as exhibits. The recommended priorities and sequence of repairs and improvements included in the Capital Reserve Schedules are the order in which they appear during the next ten-year period. Priorities are described as follows, based on the Town of Wilton RFP requirements:

Priority 1 – Current Critical: Conditions in this category require immediate action to:

- Correct a cited safety hazard;
- Stop accelerated deterioration;
- Replace equipment or materials which have surpassed useful life span; or
- Keep a facility in operation.

Priority 2 - Potentially Critical: Conditions in this category, if not corrected expeditiously, will become critical within one year. Conditions in this category include:

- Intermittent operations;
- Rapid deterioration;
- Potential life safety hazards; and
- Replace equipment or material which is currently functioning but will reach its useful life span soon or is no longer energy efficient.

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Priority 3 - Necessary – Not Yet Critical: Conditions in this category require appropriate attention to preclude predictable deterioration or potential downtime and the associated damage or higher replacement and energy costs if deferred further.

Priority 4 – Recommended: Conditions in this category include items that represent a sensible improvement to existing conditions. These are not required for the most basic function of the facility. Priority 4 projects will, however, improve overall usability and/or reduce long term energy and maintenance costs.

Priority 5 - Does not meet current codes/standards: Conditions in this category include items that do not conform to current codes but are "grandfathered" in their condition. No action is required at this time, but should substantial work be undertaken in contiguous areas, certain existing conditions may require correction.

In addition Facility deficiencies were categorized as follows, based on The Town of Wilton RFP requirements:

- Life Safety Code Compliance
- Building Code Compliance
- Accessibility Code Compliance (ADA)
- Building Integrity
- Appearance
- Energy
- Environmental (see Section III for additional information)

For future capital investments, we recommend that The Town of Wilton consistently engages qualified engineers and architects to determine the appropriate scope for competitive bidding of repair and replacement programs, develop plans and specifications, and provide oversight during construction. Architectural and engineering services typically add between 10% to 20% to the cost of large repair and improvement projects; however, when performed by a qualified firm, these services may reduce costs for unnecessary work, may result in improved construction quality, and may reduce the risk of premature failures in newly installed systems. In addition, utilizing engineers and architects to conduct a deliberate bidding process can also save considerable costs during construction.

We recommend that The Town of Wilton continues to consolidate, organize, and maintain records pertaining to the capital repairs and improvement program, such as warranties, as-built drawings, and fully-executed contracts. These records contain critical information pertaining to the age and composition of building systems, the unit costs for repairs, and contact information for contractors that perform repairs, which will enable a more efficient and effective process for future capital project planning.

## **II. OBSERVATION INFORMATION**

### **A. INTRODUCTION**

Marx|Okubo Associates, Inc. (Marx|Okubo) completed a Facilities Condition Assessment of the assets owned and managed by the Town of Wilton. This survey consists of a review of the physical conditions; architectural, structural, mechanical, and electrical components accessible or visible during the site visit; and the general quality of construction.

The purpose of this project review is for Marx|Okubo to provide an overview for the Client, and it is in no way implied that every aspect of the properties has been reviewed. The sole purpose of this report is to observe the major aspects of the properties and evaluate their condition. Limited construction documents were available for review. Limited field test results and no inspection records from construction were available for our review. The use of this report is limited to the Client to whom it is addressed.

Opinions of probable costs are based upon quantity take-offs and a unit pricing method to arrive at line item totals. Unit prices are based upon historical data compiled by this office and in no way imply that bids were received from trade subcontractors. No bid documents or corrective drawings were produced.

It is not the intent of this office to assume any part of the design responsibility but rather to report our findings to the Client to whom this report is addressed.

The scope of this review is to provide a general overview of building components. It should be noted that a detailed compliance survey related to ADA, building codes, and zoning issues was not performed.

### **B. SITE OBSERVATION**

The project observations were conducted by a Marx|Okubo team comprised of Felipe Guerrero AIA, John McKenna P.E., and Estefania Tenezaca. The site visits were performed between December 5, 2023, and January 24, 2024. The walk-throughs incorporated a review of site improvements, building structural components as observable, building shell components, fire and life safety systems, plumbing, Heating, Ventilation, and Air Conditioning (HVAC), electrical systems, and interior spaces.

### III. FACILITY CONDITION ASSESSMENT SUMMARY

In addition to the conditions and repairs recommended individually for each of the properties, the following conditions/recommendations appeared to be common portfolio-wide:

- There are unoccupied low slope roof areas and portions of the sloped roofs that could be considered for the addition of photovoltaic (PV) solar panels. The Town of Wilton may consider engaging the services of a registered structural engineer to perform an analysis to determine if the roof assemblies can support the added loads of a PV system as well as a qualified party to perform a feasibility study, including a solar analysis. Based on the results of a preliminary structural and solar analysis, consideration could be given to the addition of PV panels on the roofs to reduce operational costs associated with energy consumption. Implementation of a PV system in multiple properties could help reduce costs, along with potential Federal and State level financial incentives.
- The Town of Wilton may consider engaging a qualified firm to perform a comprehensive energy audit of the buildings to evaluate potential energy efficiency improvements, calculate the return on investment for each improvement, and identify and evaluate any financial incentives available for energy efficiency improvement projects. We have recommended budgets for equipment replacements and building enclosure repairs where necessary to restore and maintain building performance. Replacement of older equipment and materials with newer equipment can provide an opportunity for energy efficiency improvements; however, energy audits can identify greater energy efficiency and conservation measures.
- Investigation and identification of environmental concerns including but not limited to air quality, ACM (Asbestos Containing Materials), and lead paint are outside of the scope of this report. However, it was reported and based on limited information provided to Marx|Okubo that hazardous materials may be present in some properties. It is recommended that the Town of Wilton consider a portfolio wide environmental assessment, as well as localized environmental investigations, to identify the presence and the extent of hazardous materials. The findings of this review could be used to develop an operations and maintenance plan, or abatement strategy, prior to or during the capital repairs identified in this report. The budgets for environmental issues have not been included in this report.
- It is Marx|Okubo's understanding that per ADA municipalities are required to review all aspects of its municipal services, programs, or activities for accessible compliance through the Self-Evaluation and Transition Plan process. The Transition Plan is complex and requires multiple analyses including surveys, perform a self-evaluation , and planning projects. Consideration could be given to engaging an accessibility consultant to review the facilities per ADA Title II Regulations. A preliminary budget for an initial review and recommendation

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on subsequent phases is included here for consideration. This does not include physical repairs, additional municipal staff, or changes to municipal operations should these be required.

- A separate Space Needs Assessment was performed by Marx|Okubo. The results of that assessment have not been factored into this Facility Condition Assessment. This report is performed independently of the future expansion and renovation considerations. It is recommended to review the reports concurrently.

Based upon our observation and information received from interviews, Marx|Okubo Associates, Inc. opinion of probable costs repair or correct deficiencies or items of deferred maintenance is summarized below. Detailed information for each of the properties can be found in the exhibits section of this report.

<b>BUILDING</b>	<b>IMMEDIATE REPAIRS</b>	<b>YEARS 1-3</b>	<b>YEARS 4-6</b>	<b>YEARS 7-10</b>	<b>TOTAL RESERVE*</b>
Town Hall	\$81,300	\$1,641,000	\$326,667	\$614,333	\$2,857,907
Annex/Animal Shelter	\$34,000	\$593,500	\$109,000	\$237,500	\$1,029,149
Fire Headquarters	\$3,000	\$1,046,000	\$0	\$539,000	\$1,782,394
Highway Garage	\$0	\$704,000	\$139,000	\$193,000	\$1,145,104
Fire station No. 2	\$7,400	\$465,250	\$45,000	\$20,000	\$546,270
Comstock Community Center	\$73,400	\$908,700	\$436,000	\$1,391,700	\$3,299,860
Veterans Memorial Concession Stand	\$8,000	\$187,000	\$12,000	\$6,000	\$209,074
Veterans Memorial Team Rooms & Press Box	\$14,000	\$124,000	\$20,000	\$0	\$149,337
Merwin Meadows Barn and Bathrooms	\$170,300	\$232,500	\$80,000	\$30,000	\$371,169
G&B Cultural Center	\$63,000	\$1,417,500	\$390,000	\$304,000	\$2,292,772
<b>SUB TOTALS</b>	<b>\$454,400</b>	<b>\$7,319,450</b>	<b>\$1,557,667</b>	<b>\$3,335,533</b>	<b>\$13,683,035</b>

\*Inflated

#### IV. DEFICIENCIES AND RECOMMENDATIONS

The Capital Reserve Schedules attached to this report provide budget recommendations for the next ten years. These budgets do not include costs for routine operating and maintenance activities (e.g., snow removal, landscaping, preventative maintenance programs, etc.), which are assumed to be included in the operating and maintenance budget. Expected useful life estimates are generally based on industry-accepted life spans for these systems unless there are mitigating circumstances.

"Advisory" items are provided in the Capital Reserve Schedules to provide order-of-magnitude budget projections for items that require additional investigation to determine the appropriate repair budget. These items typically follow line items with budgets for the recommended investigation and are not included in the total costs.

"Optional Upgrade" items are provided to inform the Owner of opportunities for energy-saving or operational improvements.

Opinions of cost are based on limited observations of readily observable conditions and available documentation. Determination of actual costs require competitive bidding by qualified contractors on a scope of work that may require development of repair documents by a qualified engineer or architect.

When appropriate, separate line items have been included for general contractor overhead, profit and general conditions, architectural and engineering fees, as well as for design and construction contingencies.

Marx|Okubo's standard inflation rate for the purposes of the Capital Reserve Schedule is 3%. At the request of the Town of Wilton, the rate has been adjusted to 4%.

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Wilton, Connecticut**

**V. EXHIBITS**

**A. INDIVIDUAL CAPITAL RESERVE SCHEDULES WITH PHOTOGRAPHS**

- 1. TOWN HALL**
- 2. ANNEX BUILDING/ANIMAL SHELTER**
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## EXHIBIT A

## FACILITY CONDITION ASSESSMENT

# TOWN HALL

238 Danbury Road  
Wilton, Connecticut



Prepared for:

**Town of Wilton**  
238 Danbury Road  
Wilton, Connecticut 06897  
Attention: Mr. Jeff Pardo  
jeff.pardo@wiltonct.org

Marx|Okubo Job No. 23-2104

February 2, 2024

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## 1.0 DEFICIENCIES AND RECOMMENDATIONS

Recommendations for remedial work addressing significant building deficiencies are included in this section. Recommendations are divided into *Immediate Work Items* and *Capital Work Items*.

The cost threshold for this project is \$3,000. Items that do not meet this threshold are excluded from our recommendations.

**Immediate Work Items:** Include items that correct safety and life-threatening building and/or fire code violations; items that, if left unrepaired over the next year, would result in serious damage to the building or its contents; and elements not compliant with federal accessibility regulations. These items should be undertaken on a priority basis taking precedence over routine preventive maintenance work.

**Capital Work Items:** Include items that are customarily repaired or replaced over several years due to economic considerations (e.g. paving, roofs, appliances), items which are currently in acceptable condition but will reach or exceed their useful economic service life during the term, and items that are periodic in nature but not considered normal maintenance (e.g. pavement seal coating, painting). Also included are significant energy-saving or operational improvements. These opinions of cost are generally based on industry-accepted life spans for these systems unless there are mitigating circumstances.

In addition, based on the Request for Qualifications/Proposals requirements, Marx|Okubo Associates, Inc. has assigned Facility Deficiency Priorities and Categories as follows:

Facility Deficiency Priorities:

- Priority 1 - Current Critical (Assigned to the Immediate Work items described above)
- Priority 2 - Potentially Critical
- Priority 3 - Necessary – Not Yet Critical
- Priority 4 - Recommended
- Priority 5 - Does not meet current codes/standards

Facility Deficiency Categories:

- Life Safety Code Compliance
- Building Code Compliance
- Building Integrity
- Appearance
- Energy
- Environmental

### IMMEDIATE REPAIR COST

Prepared By: Marx|Okubo Associates, Inc.

Date Prepared:

February 2, 2024

Building(s) Gross Area (S.F.): 12,808

Property Age (Years): 93 Renovated in 1969 and 2002

[Link to photo of this item](#)

Advisory Items are not included in the 10-year capital reserve schedule.

#	Item	QTY	Unit	Unit Cost	Replacement Percent	Immediate Total	Comments
<b>ENVELOPE AND EXTERIOR</b>							
1	<p><b>Life Safety Code Compliance:</b> Secondary egress from the second floor is through an exterior metal stair located at the north roof. A tread is missing at the top of the stairs, the guardrail has localized corrosion, and the last tread has pitting corrosion. Replace the corroded metal tread, provide a new tread at the roof level, replace corroded guardrails, and provide extension guardrails at the roof level landing.</p>	1	LS	\$6,000.00	100%	\$6,000	Priority 1 - Current Critical
<b>MECHANICAL/ELECTRICAL/PLUMBING</b>							
2	<p><b>Environmental:</b> The building appears to be provided with a radon mitigation system. At the time of the site visit, a manometer on a PVC piping riser indicated a reading that required maintenance to the system. It is unknown what maintenance is required at this time and there was no reported history of maintenance on the system. Engage a qualified firm to inspect and verify operation of the system and perform the necessary maintenance. A preliminary budget is provided for testing and inspection only; maintenance scope will be based on inspection results.</p>	1	EA	\$1,000.00	100%	\$1,000	Priority 1 - Current Critical
<b>CODE REVIEW</b>							
3	<p><b>Life Safety Code Compliance:</b> Exit signs, devices, and hardware such as pull stations and hold-open door closer along the egress paths and at egress doors were outdated or not provided in various locations. Engage a qualified fire life safety professional to perform a full inventory of existing devices and provide recommendations on new quantity and layouts.</p>	1	LS	\$6,000.00	100%	\$6,000	Priority 1 - Current Critical.
4	<p><b>Life Safety Code Compliance:</b> Provide/replace exit signage and devices where missing or outdated. Scope may include providing new exit signage, pull station, and hardware. Quantity and final budget based on the results of the fire life safety review. A preliminary budget is provided for reference.</p>	1	LS	\$10,000.00	100%	\$10,000	Priority 1 - Current Critical
<b>ACCESSIBILITY</b>							
5	<p><b>ADA:</b> Based on the Site Layout Plan provided, there are approximately 55 parking spaces serving the facility. A total of three accessible parking spaces were observed with no designated van accessible parking space provided and signage mounted below the minimum required height. Based on the total number of spaces provided a minimum of three accessible parking spaces including one van accessible parking space is required. Provide one designated van accessible parking space and remount signage to the required minimum height.</p>	1	LS	\$1,300.00	100%	\$1,300	Priority 1- Current Critical

#	Item	QTY	Unit	Unit Cost	Replacement Percent	Immediate Total	Comments
6	ADA: Interior signage is mounted below the required tolerance range or missing throughout the facility. Remount signage to the compliant height and install new signage where missing including wayfinding signage to accessible routes and entrances. Signage is required to have raised contrast lettering and braille and be mounted within the ADA tolerance range.	1	EA	\$6,000.00	100%	\$6,000	Priority 1 - Current Critical.
7	ADA: A lowered counter area is not provided at the Assessors and Registrants of Voters office. Provide a lowered counter area not exceeding 36" maximum from the finish floor.	2	EA	\$8,000.00	100%	\$16,000	Priority 1 - Current Critical.
8	ADA: The single-user restroom on the first floor was noted to have various non-compliant items. Items include center of toilet mounted above the the range tolerance from the side wall, inadequate sink depth and clear floor space, and missing scald guard protection beneath the lavatory. Perform alteration to meet compliance.	1	EA	\$10,000.00	100%	\$10,000	Priority 1 - Current Critical.
9	ADA: Door hardware was observed to be orbital at select spaces. Replace with lever type hardware to meet compliance.	1	LS	\$5,000.00	100%	\$5,000	Priority 1 - Current Critical.
10	ADA: Advisory - Currently, a stand is positioned in the corridor leading to the Registrant Voter's Office and is blocking maneuvering clearance. Move stand to meet compliance. It is anticipated that maintenance personnel could relocate the existing stand, as required, to achieve compliance. Therefore, no cost is anticipated.	0	EA	\$0.00	0%	\$0	Priority 1 - Current Critical.
11	ADA: The men and women's multi-user restrooms on the first floor were noted to have various non-compliant items. Items include no accessible stall or urinals, paper towel dispenser mounted above complaint height, missing scald protection, orbital hardware, missing signage, and clear floor space at the sink. Perform alterations to meet compliance.	2	EA	\$10,000.00	100%	\$20,000	Priority 1- Current Critical.
Total Repair Cost						\$81,300	

### CAPITAL RESERVE SCHEDULE

Prepared By: Marx|Okubo Associates, Inc.  
 Building(s) Gross Area (S.F.): 12,808  
 Property Age (Years): 93 Renovated in 1969 and 2002  
[Link to photo of this item](#)

Date Prepared: February 2, 2024  
 Term: 10  
 Inflation Rate: 4%

Footnotes: <sup>1 2 3 4</sup>

Advisory Items are not included in the 10-year capital reserve schedule.

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
<b>SITE</b>																		
1	Appearance: Asphalt paved drive lanes and parking areas surround the Town Hall, Annex Building, Fire Headquarters, Highway Garage, and Police Station. The age of the asphalt is unknown; varying levels of deterioration were noted throughout. Phased milling, resurfacing, and restriping of the asphalt paved areas that are not included in the new police station budget, should be performed to extend service life of the asphalt. A Site Layout Plan labeled as Issued for Bid dated May 19, 2023 was provided and indicates the limit of the paving that will be addressed during the police station master plan. Levels of deterioration include alligator and longitudinal cracking and faded striping throughout. Refer to the following items for additional information.	70,000	SF	\$6.00	25	20					\$140,000	\$140,000	\$140,000				\$420,000	Priority 3 - Necessary - Not Yet Critical.
2	Appearance: Advisory - It was reported a masterplan for a new police station is underway and is scheduled to commence within a year. Reportedly, the budget for asphalt repairs surrounding the new police station are included in the construction budget therefore we have excluded from the Capital Reserve Schedule. Drawings or a budget have not been provided.	0	EA	\$0.00	0	0	\$0										\$0	Priority 2 - Potentially Critical.
3	Appearance: Repair local subgrade deterioration at asphalt pavement as identified during milling and repaving work, as noted in the line item above. The budget includes 10% of the paved asphalt areas.	7,000	SF	\$10.00	0	0					\$23,334	\$23,333	\$23,333				\$70,000	Priority 4 - Recommended
4	Appearance: Sidewalks consist of a combination of cast-in-place concrete and bricks with concrete curbing. Isolated instances of cracking and organic growth was observed throughout. A budget is recommended to patch concrete cracks and remove and replace cracked bricks. The budget also includes periodic repairs of the sidewalks and curbs as materials deteriorate with age. The budget includes approximately 10% of the sidewalks and curbing for each occurrence.	300	SF	\$20.00	5	3		\$6,000					\$6,000				\$12,000	Priority 3 - Necessary - Not Yet Critical.
<b>STRUCTURE</b>																		
5	<b>P</b> Building Integrity: Building foundation consists of cast-in-place reinforced concrete walls. Localized areas of spalling and exposed steel reinforcement have occurred along the top of the foundation wall. Remove loose concrete areas and corrosion, patch and repair.	1	LS	\$3,000.00			\$3,000										\$3,000	Priority 3 - Necessary - Not Yet Critical.
6	<b>P</b> Building Integrity: It was noted and reported that an area of the building adjacent to one of the vault doors has deflected and affects the vault doors operation. Engage the services of a qualified engineer to review the condition and prepare recommendations. Scope may include drawing review, destructive and non destructive probes.	1	LS	\$10,000.00			\$10,000										\$10,000	Priority 3 - Necessary - Not Yet Critical.

1. Opinions of cost are based on limited observations of readily observable conditions and available documentation. Determination of actual costs require competitive bidding by qualified contractors on a scope of work that may require development of repair documents by a qualified engineer or architect.  
 2. Marx|Okubo is not an environmental consultant or evaluator of pest infestation. Opinions of cost exclude abatement of hazardous materials or remediation of pest infestations unless otherwise noted.  
 3. This cost table is a supplementary document to the report and should be reviewed in conjunction with the full report and exhibits.  
 4. Marx|Okubo's standard inflation rate for the purposes of the Capital Reserve Schedule is 3%. At the request of the Town of Wilton, the rate has been adjusted to 4%.

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
7	Building Integrity: Based on the results of the structural investigation, perform the recommended repairs to the structural framing. Scope of work could include removing finishes to expose the condition, performing localized repairs, and reinstating the finishes after the condition is repaired. Additional scope may include reinforcement of the structure and shoring.	50	SF	\$400.00			\$20,000										\$20,000	Priority 3 - Necessary - Not Yet Critical.
8	Ⓟ Building Integrity: The building's front entrance consists of a portico with cast-in-place concrete steps and platform with metal railing and wood finished columns over cast iron ventilating plinths that support the portico's roof. The cast-in-place platform and steps are in poor condition with cracks, and signs of previous crack repairs. One of the wooded columns has been removed due to damages, and the remaining columns appear to be in poor condition with wood surface and finish damages. A comprehensive portico rehabilitation program is recommended. The scope of the work includes complete removal of the cast-in-place platform, steps, railing, columns and column plinths, sub-grade repairs, temporary supports while the work is being performed, refurbishment of the pediment, remaining wooden columns and metal plinths including refinishing and painting, and reinstallation of the cast-in-place platform, steps, metal railing, metal plinths, and columns.	1	LS	\$350,000.00			\$350,000										\$350,000	Priority 3 - Necessary - Not Yet Critical.
9	A budget is provided for general contractor overhead, profit and general conditions associated to the portico rehabilitation program.	1	LS	\$100,000.00			\$100,000										\$100,000	
10	A budget is provided for architectural/engineering fees associated to the portico rehabilitation program.	1	LS	\$60,000.00			\$60,000										\$60,000	
11	A budget is provided for design and construction contingencies associated to the portico rehabilitation program.	1	LS	\$40,000.00			\$40,000										\$40,000	
<b>ENVELOPE AND EXTERIOR</b>																		
12	Ⓟ Energy: The top-level roof could be considered for the addition of photovoltaic (PV) solar panels. Engage the services of a registered Structural Engineer to perform an analysis to determine if the structure can support the added loads of a PV system as well as a qualified party to perform a feasibility study, including a solar analysis. Based on the results of a preliminary structural and solar analysis, consideration could be given to the addition of PV panels on the roof. The results of the analysis will determine the system's limitations and requirements. PV solar panels can provide the building with a renewable, clean source of energy.	1	LS	\$10,000.00			\$10,000										\$10,000	Priority 4 - Recommended.
13	Energy: Advisory - Based on the results of the feasibility study, install PV system. The cost could be in the order of \$15 to \$25 per square foot. Potential savings could be anticipated if rebate programs and/or incentives are available and if the project is considered at a portfolio level. The scope of work may include the installation of solar panels, wiring, inverters, electrical panels, and monitoring systems. The benefits of installing a PV system include reducing operational costs, protecting against power outages and reducing carbon footprint.	5,000	SF	\$25.00			\$0										\$0	Priority 4 - Recommended.
14	Ⓟ Building Integrity: Portions of the low slope roof and glazed roof along the secondary entrance have localized damages, including debris accumulation, roof ponding, organic growth along the gutters and missing or damaged roof leaders. Perform a maintenance and localized repair program to address deteriorating roof components.	1	LS	\$5,000.00			\$5,000										\$5,000	Priority 2 - Potentially Critical.

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
15	<b>P</b> Building Integrity: Facades consist of brick masonry unit walls. Localized areas of the brick masonry walls have spalled and eroded units due to organic growth and water from missing roof leaders. Remove and replace spalled units, clean organic growth. Budget represents approximately 5% of brick masonry units, and includes scaffolding to access areas that are not accessible from the ground level.	200	SF	\$75.00				\$15,000									\$15,000	Priority 3 - Necessary - Not Yet Critical.
16	<b>P</b> Building Integrity: Brick mortar joint in localized areas of the brick masonry unit walls has eroded and it's in poor condition due to organic growth. Repoint areas of damaged or missing mortar joint.	500	SF	\$10.00				\$5,000									\$5,000	Priority 3 - Necessary - Not Yet Critical.
17	<b>P</b> Building Integrity: It was reported that during high rain events, the basement experiences localized instances of water intrusion at the Building Department Plan room, and at the hatchway and boiler room. Engage the services of a qualified professional to review the condition, determine the sources of the water intrusions and provide recommendations and repair documents. The scope of work may include probing the area, destructive and non destructive testing.	1	LS	\$15,000.00			\$15,000										\$15,000	Priority 2 - Potentially Critical.
18	Building Integrity - Advisory: Based on the results of the basement water intrusion investigation, perform the recommended repairs. The scope of the work will be determined by the investigation findings, however, it could include providing a new metal hatch door with slope, installing a basement drainage system and/or raised floor finish. The budget could be in the range of \$75,000.	1	LS	\$0.00			\$0										\$0	Priority 2 - Potentially Critical.
19	<b>P</b> Energy: Windows throughout the building, except a few units along the front façade, are reportedly original to the building and consist of single pane wood framed assemblies with arched transom windows. It was reported that a portion of the windows have been provided with replacement balances. It was noted and reported that the windows are in fair to poor condition. Replace all remaining original wood single pane windows with double pane glass assemblies.	20	EA	\$6,000.00	50	48		\$120,000									\$120,000	Priority 3 - Necessary - Not Yet Critical.
20	<b>P</b> Building Integrity - Advisory: Various windows along the foundation and off the north roof are no longer serving the original purpose, either because the basement is storage and no longer occupied, or because the space between the roof and the ground floor is not usable. Consideration could be given to blocking the windows with a water tight assembly consistent with the adjacent construction.	1	LS	\$10,000.00			\$0										\$0	Priority 4 - Recommended.
21	<b>P</b> Building Integrity: Secondary entrance doors consist of an aluminum and glass storefront door system with sidelights and is power assisted with an actuator. Various components of the door frame and adjacent sidelights are in poor condition. Front wood door is in fair condition, with deficiencies including deteriorating hardware and peeling finish. The door operator is located at a column approximately 12' from the entrance and appears to be further then what is recommended in the control general guidelines. Perform a door refurbishment program that includes replacing damaged components of the door assembly and adjacent sidelights, and refinishing surfaces. Consideration could be given to relocating the door operator closer to the doors and to a more visible location to operate.	1	LS	\$20,000.00			\$20,000										\$20,000	Priority 3 - Necessary - Not Yet Critical.
22	<b>P</b> Building Integrity/appearance: Painted decorative wood cornices, pilasters, window trim and other architectural details are provided along the building's facades. Localized areas of the wood have rotted and paint is peeling. Remove rotted wood portions, replace with new, prepare for painting, and paint wood throughout.	2,000	LF	\$25.00			\$50,000										\$50,000	Priority 2 - Potentially Critical.

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
23	A budget is provided for general contractor overhead, profit, and general conditions associated to the envelope and exterior work.	1	LS	\$51,000.00			\$16,000	\$35,000									\$51,000	
24	A budget is provided for architectural/engineering fees associated to the envelope and exterior work.	1	LS	\$31,000.00			\$10,000	\$21,000									\$31,000	
25	A budget is provided for design and construction contingencies associated to the envelope and exterior work.	1	LS	\$20,000.00			\$6,000	\$14,000									\$20,000	
26	Advisory: Reports provided to Marx Okubo confirmed the presence of hazardous materials along the exterior of the building. Engage the services of a qualified environmental professional to perform a hazardous materials abatement program prior to the exterior repairs work. Cost of the program to be provided by the qualified environmental professional.	1	LS	\$0.00			\$0										\$0	Priority 1 - Current Critical.
<b>INTERIOR IMPROVEMENTS</b>																		
27	Appearance: Interior finishes were observed to generally be in fair to good condition. The age of the finishes is unknown; however, damaged gypsum boards and deteriorated paint due to previous leaks that have been addressed, was observed at localized areas throughout the building. Perform localized repairs early in the term and continue with phased replacement of interior improvements as conditions warrant due to wear and tear with age. The budget assumes approximately 20% of the total square feet. Interior finishes consist of painted gypsum wall and ceiling boards; suspended ceilings with acoustic tiles; vinyl, carpet, or tile floors.	3,000	SF	\$100.00	7	6	\$60,000						\$60,000	\$60,000	\$60,000	\$60,000	\$300,000	Priority 3 - Potentially Critical.
28	Appearance: Reportedly, the multi-user women and men's restrooms located in the basement have been out of service for an unknown period of time and pipes have been capped off. Per town staff, consideration has been given to repurposing these rooms for additional storage. This appears to be feasible; the scope of work may include removal of bathroom finishes, fixtures, piping, followed by patching and finishes. A preliminary budget has been included in the term for consideration. Final budget based on owner selected level of finishes.	2	EA	\$10,000.00				\$20,000									\$20,000	Priority 4 - Recommended.
29	A budget is provided for general contractor overhead, profit, and general conditions associated with the interior renovation.	1	LS	\$75,000.00			\$15,000						\$15,000	\$15,000	\$15,000	\$15,000	\$75,000	
30	A budget is provided for general architectural/engineering fees associated with the interior renovation.	1	LS	\$45,000.00			\$9,000						\$9,000	\$9,000	\$9,000	\$9,000	\$45,000	
31	Advisory: Reports provided confirmed the presence of hazardous materials along the interior of the building. Engage the services of a qualified environmental professional to perform a hazardous materials abatement program prior to the interior renovation work. Cost of the program to be provided by the qualified environmental professional.	1	LS	\$0.00			\$0										\$0	Priority 1 - Current Critical.
<b>MECHANICAL/ELECTRICAL/PLUMBING</b>																		
32	Building Integrity: Four heating hot water boilers provide heating to the building. The boilers are located in a mechanical room in the basement of the building, and each are rated for 173,000 British Thermal Units (BTU) per hour. The boilers were installed in 1992 and reportedly function properly and appear to be in good condition. Replacement of the boilers is recommended as they reach the end of their service life or as maintenance costs dictate. The budget includes a replacement in kind of the boilers with the reuse of all associated piping. The boilers were manufactured by the New Yorker Boiler Company.	4	EA	\$25,000.00	30	29	\$50,000		\$50,000								\$100,000	Priority 3: Necessary - Not Yet Critical

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
33	Building Integrity: Pipe insulation was not observed in the boiler room. A lack of piping insulation can be a considerable source of heat loss. It is recommended to add insulation to the piping in the boiler room to improve performance of the system.	1	EA	\$20,000.00	1	0	\$20,000										\$20,000	Priority 3 - Necessary - Not Yet Critical
34	Building Integrity: Air-cooled, ducted split systems with auxiliary electric heaters provide cooling and heating to the office areas of the building. There are five units located on the roof and two on the exterior of the building. Each system consists of a condensing unit and a fan coil unit. The systems have capacities ranging between two and four tons and distributes air through overhead ductwork. Replace each system when it reaches the end of its service life or as maintenance costs dictate. The budget includes a replacement in kind of the units with the reuse of ductwork, refrigerant piping, and controls. Four of the roof mounted units are currently mounted on wooden boxes. It is recommended to replace these boxes with factory mounting equipment when the units are replaced. The units were installed between 2006 and 2018 and were manufactured by Rheem and Sanyo.	22	TON	\$5,000.00	15	7	\$15,000							\$32,000	\$32,000	\$31,000	\$110,000	Priority 3: Necessary - Not Yet Critical
35	Building Integrity: One air-cooled rooftop packaged unit provides cooling and ventilation for the vault room on the first floor. The units has a capacity of 4 tons and distributes air through overhead ductwork. Replace the unit as it reaches the end of its service life or as maintenance costs dictate. The budget includes a replacement in kind of the units with the reuse of ductwork. The unit was manufactured by Rheem.	4	TON	\$3,500.00	15	8							\$14,000				\$14,000	Priority 3: Necessary - Not Yet Critical
36	Building Integrity: During our on-site review, multiple employees notified the team of heating comfort issues. Many employees also had space heaters in their individual offices. An upgrade to the building heating system may result in better comfort, however, it could be invasive and will require engineering design, installation drawings, and general conditions. Engage an engineering firm to review existing conditions, determine necessary upgrade scope and equipment selections, and prepare design drawings for competitive bidding.	1	EA	\$30,000.00	1	0	\$30,000										\$30,000	Priority 4 - Recommended
37	Building Integrity: Advisory - Based on limited observation of the building's current systems, the heating system could be upgraded in a variety of ways to improve the building's current heating comfort issues. Solutions could range from upgrading the current boilers to installing heat pump systems. The exact scope and budget required to upgrade the building's heating system will be known once an engineering firm has completed their calculations and have sent design drawings out to contractors for bid.	0	TON	\$7,000.00	1	0	\$0										\$0	Priority 4 - Recommended
38	Building Integrity: A conduit in the basement of the building is currently partially blocking two wall mounted grilles. It is recommended to relocate the grilles and their corresponding ductwork to be below the conduit in order to avoid performance degradation of the HVAC system.	1	EA	\$10,000.00	1	0	\$10,000										\$10,000	Priority 3 - Necessary - Not Yet Critical
39	Building Integrity: The team was informed that during rain events moisture pools on the slab in the basement and the original drawings do not indicate a vapor barrier below the basement slab. A possible solution would be to install a central dehumidification system in the basement. This could improve the indoor air quality within the basement as well as removing moisture from the basement. This work could cost on the order of magnitude of \$150,000.	1	EA	\$150,000.00	1	0	\$150,000										\$150,000	Priority 4 - Recommended
40	Building Integrity: There is an air handler located above the human resources office that is reportedly noisy. There have been no complaints about any of the other air handlers throughout the building. It is recommended to hire a contractor to ensure the unit is properly mounted above the ceiling.	1	EA	\$3,000.00	1	0	\$3,000										\$3,000	Priority 4 - Recommended

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
41	Building Integrity: In the event the air handler above the human resources is properly mounted and the noise problem persists, the town has purchased equipment to replace the unit with a new rooftop packaged unit. The installation of this work would include the installation of new equipment, ductwork, electrical, and cutting and patching the roof.	1	EA	\$90,000.00	1	0	\$90,000										\$90,000	Priority 4 - Recommended
42	Building Integrity: The building has a 50-gallon electric water heater located in the mechanical room in the basement of the building. Replace the water heater when it reaches the end of its service life or as maintenance costs dictate. The budget includes a replacement in kind with the reuse of all associated piping and electrical wiring. The water heater was manufactured by AO Smith.	1	EA	\$3,000.00	10	7			\$3,000								\$3,000	Priority 3 - Necessary - Not Yet Critical
43	Building Integrity: The team was informed of moisture pooling in the basement during rain events. A sump pump being installed within a pit in the area of pooling could help alleviate this issue, however, it could be invasive. The scope of this work could include trenching, installing a pit and sump pump, pipe routing, and backfilling the installation area. This work could cost on the order of \$20,000.	1	EA	\$20,000.00	1	0	\$20,000										\$20,000	Priority 4 - Recommended
44	Building Integrity: The building is equipped with two main electrical panels in the basement of the building. The panels were manufactured by Federal Pacific Electric Co and are each rated for 400-amps. These panels were Stab-Lok models which were discontinued due to inherent design problems that could lead to poor electrical connections and risk of fire. Replace the two existing panels with new.	2	EA	\$3,500.00	1	0	\$7,000										\$7,000	Priority 2 - Potentially Critical
45	Building Integrity: Eversource provides electrical service to the building, which enters the building through the basement. The building does not have any history of infrared scans being performed. It is recommended to engage a qualified contractor to perform a preliminary infrared scan of the primary electrical distribution equipment to identify potential electrical system issues. Infrared scans are recommended to become part of the building's annual preventative maintenance in order to detect electrical issues.	1	EA	\$3,000.00	3	2	\$3,000										\$3,000	Priority 4 - Recommended
46	Building Code Compliance: In the event the building closes off the windows of the basement, the building will be required to install a disconnect switch outdoors serving the generator. The addition of the disconnect switch is needed to conform with Section 700.12 (D) (5) of NFPA 70, which requires a means of disconnect located within sight of the building. The work could include excavation, connection of the disconnect switch to the existing conduit below ground, installation of the switch on the exterior of the building, and removal of the existing disconnect switch.	1	EA	\$30,000.00	1	0	\$30,000										\$30,000	Priority 3 - Necessary - Not Yet Critical
47	Life Safety Code Compliance: The Miniscan 424 fire alarm panel was reportedly installed over 20 years ago and is obsolete. Replace the fire alarm panel. No fire alarm issues were reported by the client. The scope of work includes installation of a new fire alarm panel, reprogramming, and new fire alarm devices.	1	EA	\$35,000.00	20	19	\$35,000										\$35,000	Priority 2 - Potentially Critical
48	Life Safety Code Compliance: Smoke detectors are currently installed in the main hallways of the building. Fire alarm devices are not installed within individual offices in the building. An upgrade to the fire alarm system along with the installation of additional devices may be required to bring the building's life safety systems up to code. Engage an engineering firm to review existing conditions, determine necessary upgrade scope and equipment selections, and prepare design drawings for competitive bidding.	1	EA	\$15,000.00	1	0	\$15,000										\$15,000	Priority 2 - Potentially Critical

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
49	Life Safety Code Compliance - Advisory: Fire alarm devices are not currently installed within individual offices in the building. It's our understanding that installation of additional devices is required to bring the building's life safety systems up to code. The scope of this work, which will be based on the fire alarm drawings provided by the engineering design firm, may include the installation and hard wiring of new fire alarm devices in all areas of the building. The total cost of this work could be on an order of magnitude of \$50,000.	1	EA	\$0.00	1	0	\$0										\$0	Priority 2 - Potentially Critical
<b>ACCESSIBILITY</b>																		
50	ADA: Advisory - Currently public sidewalks are only provided on the opposite side of Danbury Road. Consideration should be given on providing an accessible route from the public sidewalks to the building. Scope of work could include, sidewalks, curb ramps, and ramps.	1	LS	\$0.00	0	0	\$0										\$0	Priority 4 - Recommended
51	ADA - Advisory: An accessible route is not provided from the ground floor to the basement or the second floor. Currently, the basement is predominantly used for storage and the second floor consists of staff spaces. Therefore, no public spaces or services are offered in these floors. If services or public spaces were added in these floors, an accessible route such as a lift or ramp will need to be provided. The scope would be based on a detailed accessibility analysis.	1	LS	\$0.00	0	0	\$0										\$0	Priority 5 - Does not meet current codes/standards.
52	It is Marx Okubo's understanding that per ADA municipalities are required to review all aspects of its municipal services, programs, or activities for accessible compliance through the Self-Evaluation and Transition Plan process. The Transition Plan is complex and requires multiple analyses including surveys, perform a self-evaluation, and planning projects. Consideration could be given to engaging an accessibility consultant to review the facilities per ADA Title II Regulations. A preliminary budget for an initial review and recommendation on subsequent phases is included here for consideration. This does not include physical repairs, additional municipal staff or changes to municipal operations should these be required.	75,000	LS	\$1.00	0	0	\$75,000										\$75,000	Priority 4 - Recommended

Total (Uninflated)	\$1,352,000	\$236,000	\$53,000	\$0	\$163,334	\$163,333	\$267,333	\$116,000	\$116,000	\$115,000	\$2,582,000
Inflation Factor (4.0%)	1.0	1.04	1.082	1.125	1.17	1.217	1.265	1.316	1.369	1.423	
Total (inflated)	\$1,352,000	\$245,440	\$57,325	\$0	\$191,078	\$198,720	\$338,262	\$152,648	\$158,754	\$163,681	\$2,857,907

Evaluation Period:	10
# of Square Feet:	12,808
Reserve per Square Feet per year (Uninflated)	\$20
Reserve per Square Feet per year (Inflated)	\$22

## 2.0 EXHIBITS

DRAFT

# **FLOOD PLAIN DETERMINATION REPORT**

DRAFT

# MARX/OKUBO & ASSOCIATES - NORTHEAST : Insurance Report

## DataVerify Flood Services

### *Determination Report*

**DATE: 11/16/23**

**Account Number: INS 97900589**

**MARX/OKUBO &  
ASSOCIATES - NORTHEAST**

Owner Name: 23-2104

Certified Street Address: 238 DANBURY RD, WILTON, CT 06897-4008

Requester: Sarah Helmrich Phone#: 914-269-5700 Fax#: 914-269-5720

Policy Number: 231116154345073

Community Name: WILTON, TOWN OF

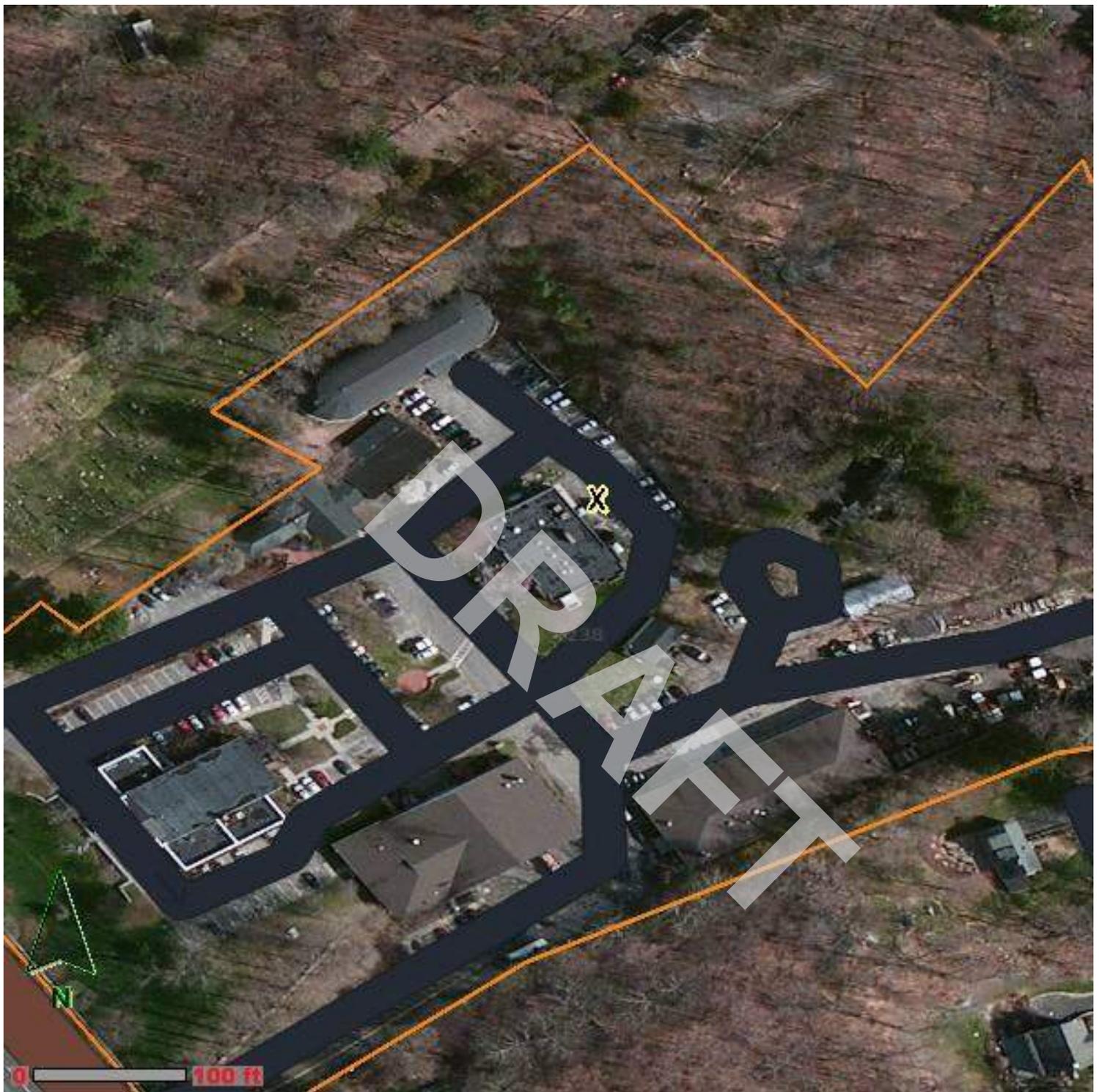
Community Status: Regular Program Type: Participating

Det ID: 345453337 Map Panel #: 09001C0383 F Community #: 090020 Panel Date: 06/18/10 Entry Date: 11/17/82

Det Date: 11/16/23 Flood Zone: X BFE: 263 (Vertical Datum:NAVD88) LOMA/LOMR  DATE:

**Areas of minimal flooding. Areas determined to be outside 500 year flood plain.**

**This flood determination is provided to the lender pursuant to the flood disaster protection act and for no other purpose. It does not create any private cause of action on behalf of the Policy Holder against DataVerify Flood Services.**



<b>Flood Zones Legend</b>	A Values	X500 /SHX / B	X / C
	D / NMA	V Values	Street

**Determination Id :** 345453337  
**Certified Address :** 238 DANBURY RD, WILTON, CT 06897-4008  
**Flood Zone :** X  
**Base Flood Elevat :** N/A  
**FEMA Map Panel Number :** 09001C0383 F  
**FEMA Map Panel Eff. Date :** 06/18/10  
**Coast CBRA Date :**  
**LOMA LOMR Date :**  
**Distance To 100/500 :**  
**Flood Zone**

DISCLAIMER: THIS MAP IMAGE IS PROVIDED AS A VISUAL AID WITHOUT ANY WARRANTIES OR GUARANTEES; IT DOES NOT CREATE ANY PRIVATE CAUSE OF ACTION ON BEHALF OF THE BORROWERS OR INSURED PROPERTY OWNERS AGAINST THE FLOOD DETERMINATION PROVIDER. DISTANCE TO 100/500 YEAR FLOOD AREA IS AN APPROXIMATION CALCULATED FROM GEOCODING TECHNOLOGY AND IS NON-GUARANTEED.

# PHOTOGRAPHS

DRAFT



1 - Overview of the building.



2 - Main entrance into the building is provided on the west side.



3 - A secondary entrance into the building is provided on the east side. Sidewalks consist of a combination of cast-in-place concrete and bricks.



4 - Main vehicular access to the site is provided via a two-way curb cut off Danbury Road. Wayfinding signage is provided along the main drive lane. Site improvements consist of asphalt paved drive lanes and parking areas and landscaping.



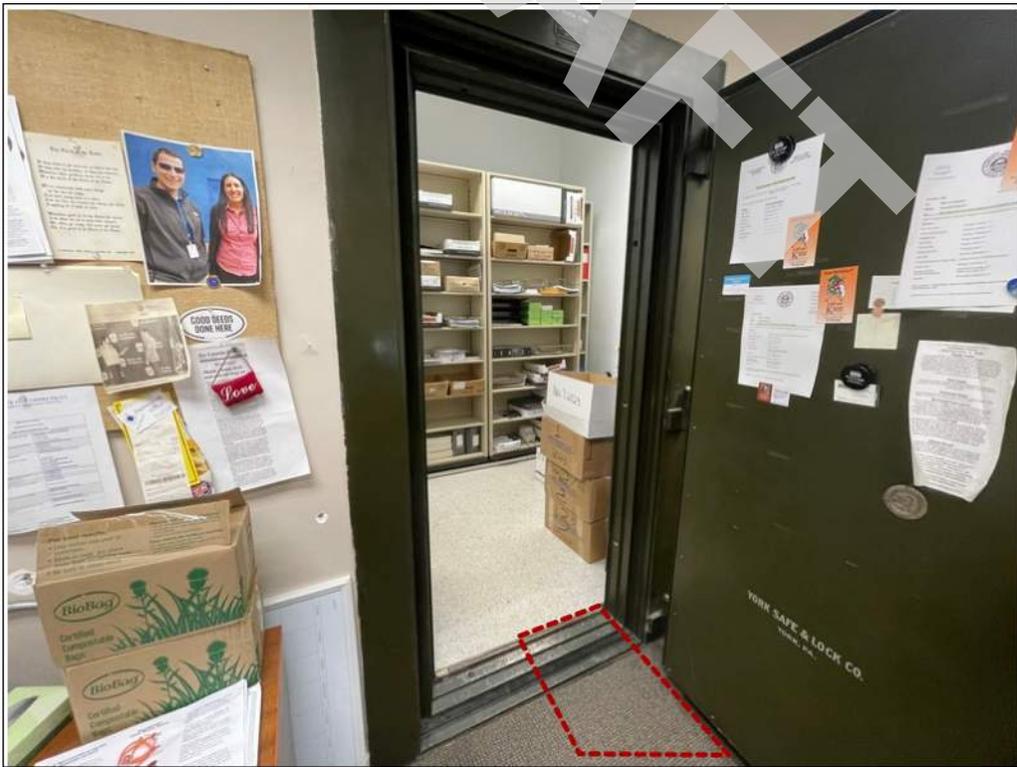
5 - Parking is provided along the north side of the building. Faded striping and alligator and longitudinal cracking was observed throughout the paved parking areas and drive lanes.



6 - Additional asphalt paved parking is provided on the south side of the building.



7 - Reinforced concrete foundation wall has spalled and has exposed steel reinforcement.



8 - Localized displacement noted near the safe door hinge.



9 - Missing column along the front facade.



10 - Front facade wood column surface has localized damages and damaged finishes.



11 - Reinforced concrete at the main entrance plinth has spalled.



12 - Evidence of prior patching along with additional cracking and corrosion are present at the front concrete porch.



13 - Main roof consist of a modified bitumen roofing system.



14 - Vegetation and debris accumulation at the roof gutters.



15 - Debris accumulation and water ponding at the low roof over the secondary building entrance.



16 - Debris accumulation and organic growth around the lower roof.



17 - Localized areas of the brick masonry unit facade have spalled units.



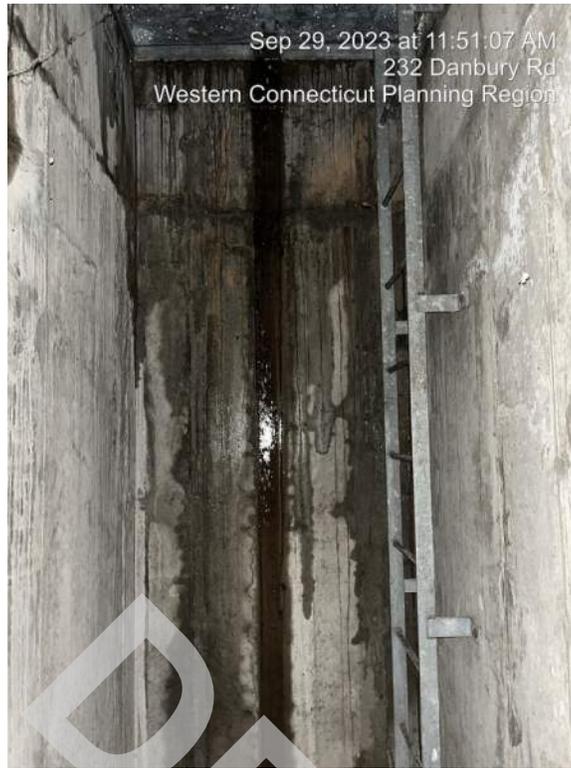
18 - Areas of the brick masonry facade have efflorescence and organic growth. Roof leader is missing.



19 - Water intrusion at the boiler room.



20 - Water intrusion at the bottom of the hatchway.



21 - Water intrusion along the walls of the hatchway.



22 - Most of the window units have been covered with a plastic screen on the exterior.



23 - A portion of the window units have been covered with cardboard.



24 - Round windows along the front facade do not appear to include safety glazing.



25 - Signs of water intrusion through the round windows along the main facade. Windows are single pane glass units with no safety glazing.



26 - The window along the north facade does not provide light or views to a usable space.



27 - The rear entrance storefront system has deteriorated. Damages include corrosion at the hinges and storefront framing along the base.



28 - Close up view of the corroded storefront framing components.



29 - Operated door push plate is located approximately 12' away from the door.



30 - Main entry wood door is in poor condition. Deficiencies include deteriorated door hardware and peeling finish surface.



31 - Decorative wood trim cornices have rotted and have peeling finishes.



32 - Wood pilaster surfaces have rotted and have peeling finishes. Roof leader is missing.



33 - Window assemblies consist of wood framed single pane units. Windows are provided with plastic coverings.



34 - Wood and brick sills are in poor condition. Wood is rotted and brick sill has organic growth, spalled brick units, and deteriorated mortar joints.



35 - Metal egress stair from the roof.



36 - Pitting corrosion at the lowest metal riser.



37 - Height of the riser in the path of egress is above the code requirement. Previously repaired handrail support.



38 - Interior finishes at the lobby consist of painted gypsum ceiling and wall boards and terrazzo floors.



39 - Interior finishes at the corridors on the first floor typically consist of painted gypsum wall boards, suspended grid ceilings with acoustic tiles, and carpet floors.



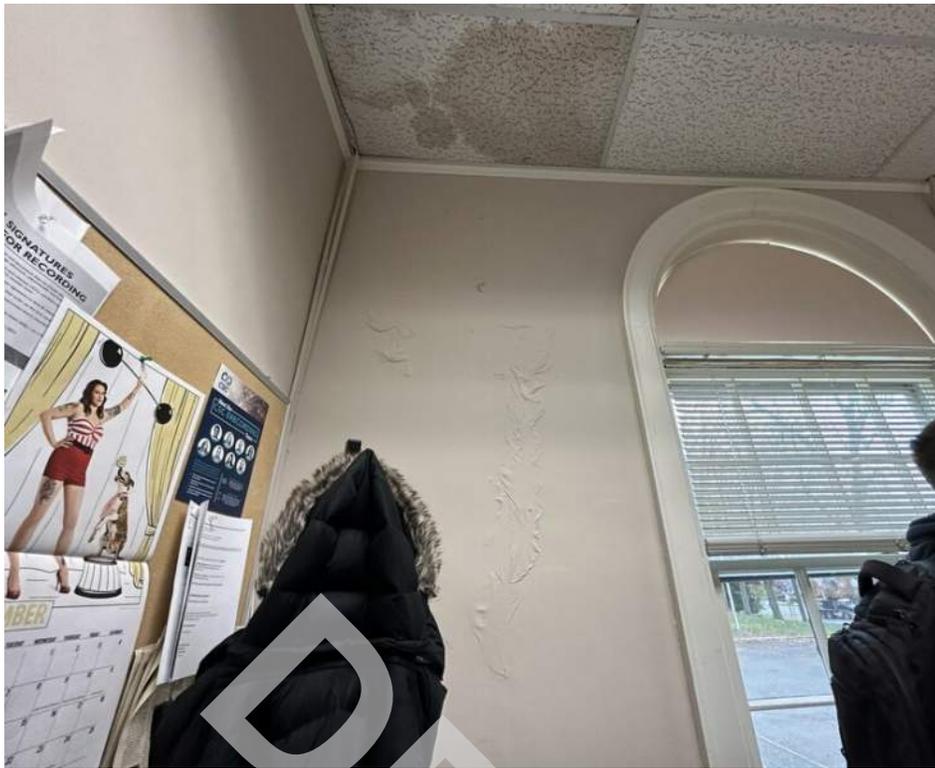
40 - Conference rooms generally consist of painted gypsum wall boards, suspended grid ceilings with acoustic tiles, and carpet floors.



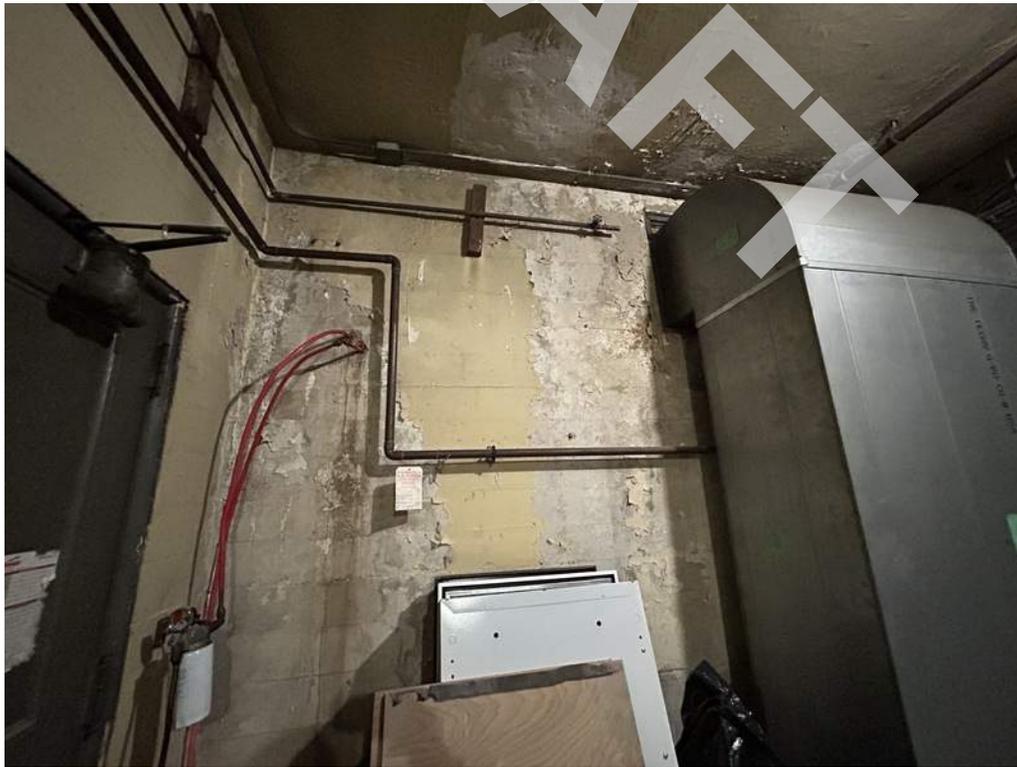
41 - Interior office finishes consist of painted gypsum wall board, suspended grid ceilings with acoustic tiles, and carpet floors.



42 - Interior finishes at the second floor corridor consist of painted gypsum wall and ceiling boards and vinyl flooring.



43 - Stained ceiling tiles and paint blisters were observed on the first floor.



44 - Deteriorated paint and evidence of persistent water intrusion was observed at the boiler room in the basement level.



45 - Basement restrooms are out of service.



46 - Four propane fired boilers located in the basement provide heating hot water throughout the building. All four are currently operational. Insulation is not provided on the associated piping.



47 - Split system air conditioning units are located on the roof and provide cooling to the office areas of the building.



48 - Split system indoor air handling units with auxiliary electric heaters are located within the building and provide air conditioning through ductwork throughout the building.



49 - A rooftop packaged unit provides cooling to the vault room on the first floor.



50 - A radon mitigation system is provided within the building.



51 - A conduit in the basement is currently partially blocking two wall mounted grilles.



52 - An electric storage-type water heater is located in the basement and provides hot water throughout the building.



53 - Two electric panels located in the electric service room are Stab-Lok model Federal Pacific panels.



54 - A diesel-fired emergency generator located on the exterior of the building provides emergency power to the Town Hall and Annex buildings.



55 - The building is provided with a Miniscan 424 Fire Alarm Panel.



56 - Fire rated doors are held open by signage.



57 - Exit signage and pull alarm are not provided at the egress door.



58 - Exit signage is not provided at the second floor.



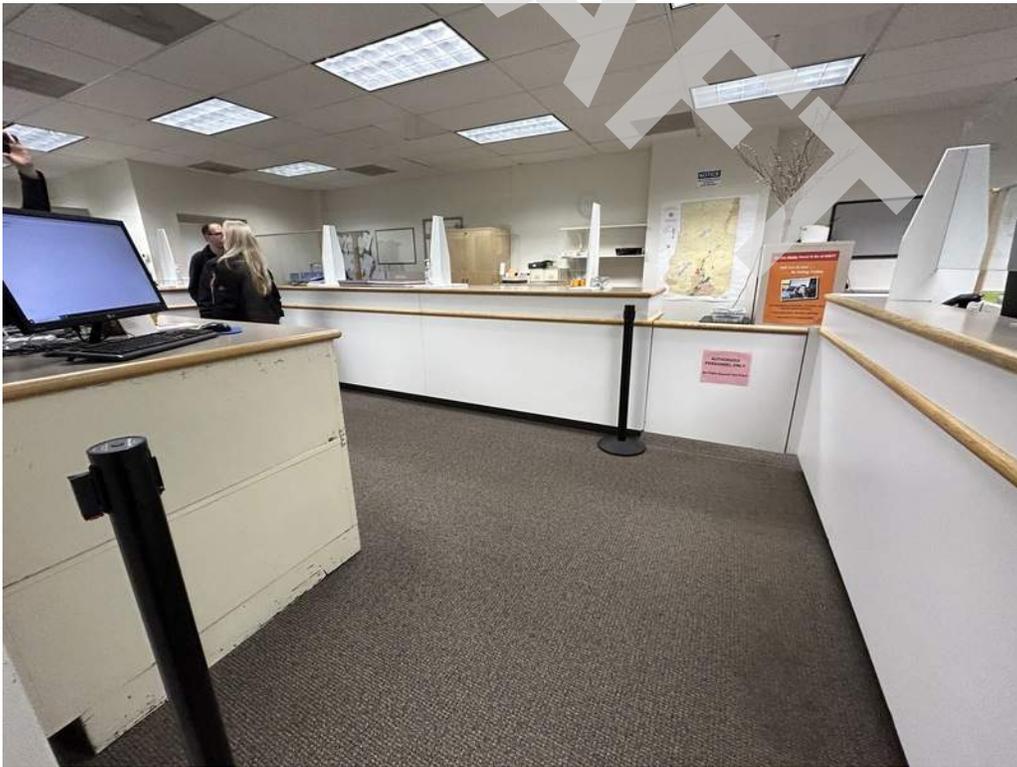
59 - Illuminated exit signage is outdated.



60 - Parking signage is mounted below the required minimum complaint height.



61 - Signage is mounted below the required height and is non compliant.



62 - A lowered counter area is not provided at the Assessors office.



63 - The single user restroom on the ground floor was noted to have various non-compliant items. Items include center of toilet mounted above the the range tolerance from the side wall, inadequate sink depth and clear floor space, and missing scald guard protection beneath the lavatory.



64 - A lowered counter area is not provided at the Registrants of Voters office.



65 - An accessible stall is not provided at the multi-user restroom on the first floor.

PROPERTY CONDITION ASSESSMENT

ANNEX/ANIMAL SHELTER

238 Danbury Road  
Wilton, Connecticut



Prepared for:

**Town of Wilton**  
238 Danbury Road  
Wilton, Connecticut 06897  
Attention: Mr. Jeff Pardo  
jeff.pardo@wiltonct.org

Marx|Okubo Job No. 23-2104

February 2, 2024

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## 1.0 DEFICIENCIES AND RECOMMENDATIONS

Recommendations for remedial work addressing significant building deficiencies are included in this section. Recommendations are divided into *Immediate Work Items* and *Capital Work Items*.

The cost threshold for this project is \$3,000. Items that do not meet this threshold are excluded from our recommendations.

**Immediate Work Items:** Include items that correct safety and life-threatening building and/or fire code violations; items that, if left unrepaired over the next year, would result in serious damage to the building or its contents; and elements not compliant with federal accessibility regulations. These items should be undertaken on a priority basis taking precedence over routine preventive maintenance work.

**Capital Work Items:** Include items that are customarily repaired or replaced over several years due to economic considerations (e.g. paving, roofs, appliances), items which are currently in acceptable condition but will reach or exceed their useful economic service life during the term, and items that are periodic in nature but not considered normal maintenance (e.g. pavement seal coating, painting). Also included are significant energy-saving or operational improvements. These opinions of cost are generally based on industry-accepted life spans for these systems unless there are mitigating circumstances.

In addition, based on the Request for Qualifications/Proposals requirements, Marx|Okubo Associates, Inc. has assigned Facility Deficiency Priorities and Categories as follows:

Facility Deficiency Priorities:

- Priority 1 - Current Critical (Assigned to the Immediate Work items described above)
- Priority 2 - Potentially Critical
- Priority 3 - Necessary – Not Yet Critical
- Priority 4 - Recommended
- Priority 5 - Does not meet current codes/standards

Facility Deficiency Categories:

- Life Safety Code Compliance
- Building Code Compliance
- Building Integrity
- Appearance
- Energy
- Environmental

**IMMEDIATE REPAIR COST**

Prepared By: Marx|Okubo Associates, Inc. Date Prepared: February 2, 2024  
 Building(s) Gross Area (S.F.): 5,345  
 Property Age (Years): Unknown Renovated in 1985 and 1990

#	Item	QTY	Unit	Unit Cost	Replacement Percent	Immediate Total	Comments
<b>MECHANICAL/ELECTRICAL/PLUMBING</b>							
1	Building Code Compliance: The State of Connecticut has passed an act that effective October 1, 2023 has made it so all kennels/dog pounds are required to provide mechanical systems in order to maintain an indoor ambient temperature between 55 and 80 degrees Fahrenheit. In order to conform with this new law, it is recommended to install a new heat pump system to provide heating and cooling to the kennel area of the building. The budget includes a new heat pump system which includes an outdoor condensing unit, indoor fan coil unit, and new refrigerant lines.	1	EA	\$15,000.00	100%	\$15,000	Priority 1 - Current Critical.
<b>CODE REVIEW</b>							
2	Life Safety Code Compliance: Exit signage and devices throughout the egress path are not provided at the animal shelter building. Engage a qualified fire life safety professional to perform a review of the egress paths, inventory of existing devices, and provide recommendations on new quantity and layouts.	1	LS	\$3,000.00	100%	\$3,000	Priority 1 - Current Critical.
3	Life Safety Code Compliance: Based on the results of the review by the fire life safety professional, provide exit signage and devices where required. Scope may include providing new exit signage, including wiring, pull station, and compliant hardware at egress doors. Quantity and final budget will be based on the results of the fire life safety review. A preliminary budget is provided for reference.	1	LS	\$5,000.00	100%	\$5,000	Priority 1 - Current Critical.
4	Life Safety Code Compliance: Battery powered emergency lighting is provided throughout the annex building. Each light observed was tested to confirm it was functional. Two of the emergency lights in the hallway did not turn on when tested. Replace the non-functioning lights with new. It is recommended to regularly test all emergency lights.	2	EA	\$1,000.00	100%	\$2,000	Priority 1 - Current Critical.
<b>ACCESSIBILITY</b>							
5	ADA: The drop box entrance is provided with a power assisted door with an actuator. The power assisted door was not operating during out visit. Additionally, door hardware was observed to be orbital at select spaces. Replace with lever type hardware to meet compliance and repair power assisted door hardware.	1	EA	\$5,000.00	100%	\$5,000	Priority 1 - Current Critical.
6	ADA: Missing signage was observed throughout the facility. Install new signage where missing including wayfinding signage to accessible routes and entrances. Signage is required to have raised contrast lettering and braille and be mounted within the ADA tolerance range.	1	EA	\$3,000.00	100%	\$3,000	Priority 1 - Current Critical.
7	ADA: The door threshold leading to the animal shelter exceeds the allowable threshold height. Replace threshold or modify finish surfaces to reduce effective threshold and meet compliance.	1	EA	\$1,000.00	100%	\$1,000	Priority 1 - Current Critical.
Total Repair Cost						\$34,000	

### CAPITAL RESERVE SCHEDULE

<b>Prepared By:</b>	Marx Okubo Associates, Inc.	<b>Date Prepared:</b>	February 2, 2024
<b>Building(s) Gross Area (S.F.):</b>	5,345	<b>Term:</b>	10
<b>Property Age (Years):</b>	Unknown	<b>Inflation Rate:</b>	4%
	Renovated in 1985 and 1990		

Footnotes: <sup>1 2 3 4</sup>

Advisory Items are not included in the 10-year capital reserve schedule.

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
<b>SITE</b>																		
1	Appearance - See the Town Hall cost table for recommendations on asphalt paved drive lanes and parking areas.	0	EA	\$0.00	0	0	\$0										\$0	Priority 4 - Recommended.
2	Building Integrity: Instances of cracked bricks were observed at isolated areas throughout brick paved paths and the front patio. Additionally, brick garden walls exhibit mortar deterioration. Remove and replace cracked bricks and cut and repoint gardens walls where needed. The budget includes approximately 5% of the brick paved surfaces and garden walls.	1	LS	\$3,000.00	10	8		\$3,000									\$3,000	Priority 3 - Necessary - Not Yet Critical.
<b>ENVELOPE AND EXTERIOR</b>																		
3	<b>P</b> Building Integrity: The Annex building is provided with sloped roofs covered with asphalt shingles. It was noted and reported that localized areas below the roofs occasionally have water leaks along the valley near the drop box entrance, as well as below the steel trusses in the public entrance area. Based on information provided, the annex building west wing roof was replaced around 1990, and the remaining sloped roof areas in the annex building were replaced in 1984. Perform a phased asphalt shingle roof replacement when the roofs reach the end of their useful life. Budget includes inspecting and repairing any underlying damages that have lead to the water intrusion.	5,000	SF	\$15.00			\$37,500						\$37,500				\$75,000	Priority 2 - Potentially Critical.
4	Building Integrity: The roofing system atop the animal shelter is a low sloped roof. The roof was not accessible during our visit, and the information provided suggest that it was installed prior to the 1985 conversion of the previous garage to the animal shelter. Portions of the annex building also include areas of low slope roof, with mixed installation dates reported. Remove and replace low slope roofing systems. Scope includes providing new edge metal flashing and insulation.	2,750	SF	\$18.00	30	29	\$50,000										\$50,000	Priority 2 - Potentially Critical.
5	Energy: Sloped and flat roof areas could be considered for the addition of photovoltaic (PV) solar panels. Engage the services of a registered Structural Engineer to perform an analysis to determine if the structure can support the added loads of a PV system as well as a qualified party to perform a feasibility study, including a solar analysis. Based on the results of a preliminary structural and solar analysis, consideration could be given to the addition of PV panels on the roof. The results of the analysis will determine the system's limitations and requirements. PV solar panels can provide the building with a renewable, clean source of energy.	1	LS	\$10,000.00			\$10,000										\$10,000	Priority 4 - Recommended.
6	Energy: Advisory - Based on the results of the feasibility study, install PV system. The cost could be in the order of \$15 to \$25 per square foot. Potential savings could be anticipated if rebate programs and/or incentives are available and if the project is considered at a portfolio level. The scope of work may include the installation of solar panels, wiring, inverters, electrical panels, and monitoring systems.	2,500	SF	\$25.00			\$0										\$0	Priority 4 - Recommended.

- Opinions of cost are based on limited observations of readily observable conditions and available documentation. Determination of actual costs require competitive bidding by qualified contractors on a scope of work that may require development of repair documents by a qualified engineer or architect.
- Marx|Okubo is not an environmental consultant or evaluator of pest infestation. Opinions of cost exclude abatement of hazardous materials or remediation of pest infestations unless otherwise noted.
- This cost table is a supplementary document to the report and should be reviewed in conjunction with the full report and exhibits.
- Marx|Okubo's standard inflation rate for the purposes of the Capital Reserve Schedule is 3%. At the request of the Town of Wilton, the rate has been adjusted to 4%.

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
7	<b>P</b> Building Integrity: Annex building and animal shelter facades consist of brick masonry walls, concrete masonry unit (CMU) walls and stucco. CMU and stucco walls along the north side of the building are in fair condition. Damages at the CMU walls include stepped cracking, eroded CMU surfaces and eroding mortar joints. Stucco surface damages include cracking and erode areas. Perform a CMU mortar joint and stucco repair program. Budget represents approximately 20% of the surfaces.	2,000	SF	\$15.00			\$30,000										\$30,000	Priority 3 - Necessary - Not Yet Critical.
8	<b>P</b> Appearance: Exterior facades throughout the Annex and Animal Shelter have peeling paint finishes, debris, and organic growth stains. Power wash all exterior wall surfaces after repairs have been completed. Surfaces include soffits, trim, gutters, downspouts, signage, doors, aluminum frames, masonry, and stucco.	6,000	EA	\$1.50	7	6		\$9,000							\$9,000		\$18,000	Priority 4 - Recommended.
9	<b>P</b> Appearance: Following the façade repair program, prepare surfaces for painting and paint throughout. Scope to include soffits, trim, gutters, downspouts, signage, doors, aluminum frames, masonry, and stucco.	4,500	SF	\$6.00	7	6		\$27,000									\$27,000	Priority 4 - Recommended.
10	<b>P</b> Building Integrity: Windows replacements along the façades were reportedly installed during the 1984,1985, and 1990 renovations. The two quarter round windows along the south façade of the Annex building have interior condensation. Replace insulating glass units and frames. Remaining windows throughout the Annex and Animal Shelter are in fair to poor condition, and are in need of replacement. Perform a phased comprehensive window replacement program of all windows throughout the building, when units reach the end of their useful life. It was reported that the quarter round windows were originally designed for a meeting space that is no longer there, therefore, consideration could be given to eliminating the quarter round windows to reduce costs.	50	EA	\$3,500.00	30	29	\$75,000			\$50,000			\$50,000				\$175,000	Priority 2 - Potentially Critical.
11	<b>P</b> Building Integrity: Selected hollow metal doors at the Annex building and Animal shelter are in poor condition. Damages include deteriorating exterior and interior finishes, localized surface corrosion. Replace or refurbish doors as needed.	2	EA	\$5,000.00			\$10,000										\$10,000	Priority 3 - Necessary - Not Yet Critical.
12	<b>P</b> Building Integrity: Trim and roof soffit along the roof perimeter consist of painted wood. Paint finish is peeling and the wood surfaces appear to be in poor condition. Remove damaged trim pieces and replace with new. Refinishing trim and other surfaces.	300	LF	\$20.00			\$6,000										\$6,000	Priority 3 - Necessary - Not Yet Critical.
13	A budget is provided for general contractor overhead, profit, and general conditions associated to the envelope and exterior work.	1	LS	\$100,000.00			\$55,000	\$10,000		\$15,000			\$20,000				\$100,000	
14	A budget is provided for general architectural/engineering fees, associated to the envelope and exterior work.	1	LS	\$60,000.00			\$30,000	\$5,000		\$10,000			\$15,000				\$60,000	
15	A budget is provided for design and construction contingencies associated to the envelope and exterior work.	1	LS	\$37,000.00			\$20,000	\$3,000		\$6,000			\$8,000				\$37,000	
<b>INTERIOR IMPROVEMENTS</b>																		
16	Appearance: Interior finishes were observed to generally be in fair to good condition. The age of the finishes is unknown; however, deteriorated paint due to previous leaks that have been addressed and damaged vinyl composite tiles was observed at localized areas throughout the building. Perform localized repairs early in the term and continue with phased replacement of interior improvements as conditions warrant due to wear and tear with age. The budget assumes approximately 20% of the total square feet. Interior finishes consist of painted gypsum wall and ceiling boards; suspended ceilings with acoustic tiles; vinyl, carpet, or tile floors.	1,100	SF	\$100.00	7	6	\$22,000						\$22,000	\$22,000	\$22,000	\$22,000	\$110,000	Priority 3 - Potentially Critical
17	Appearance: Currently, a public entrance is provided through the main vestibule on the southeast side of the building. It was reported configuration of a new public entrance is in progress. Revised drawings provided include a new public entrance along the east façade, counters, office, and a sidewalk leading to the entrance. It is our understanding the drawings have been submitted for permit approval and are in review. According to town staff, the budget could be in the order of approximately, \$32,000; however, no proposal was provided for review.	1	LS	\$40,000.00	0	0	\$40,000										\$40,000	Priority 4 - Recommended.

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
18	Appearance: Currently, a multi-user men and women's restrooms are provided. The age of the interior finishes and fixtures are unknown, however appear to be in serviceable condition. Additionally, several non-ADA complaint items were noted and include thresholds exceeds the allowable height, non-compliant signage, inadequate door maneuvering, and a women's accessible stall is not provided. Per town staff, consideration has been given to renovating the existing restrooms to meet ADA compliance. This appears to be feasible, the scope of work may include new finishes and fixtures and modifying the restrooms to meet ADA compliance. A preliminary budget has been included in the term for consideration. Final budget based on owner selected level of finishes.	1	LS	\$30,000.00	0	0	\$30,000										\$30,000	Priority 3 - Potentially Critical
19	A budget is provided for design and construction contingencies related to the interior work.	1	LS	\$18,000.00			\$8,000						\$2,500	\$2,500	\$2,500	\$2,500	\$18,000	
<b>MECHANICAL/ELECTRICAL/PLUMBING</b>																		
20	Building Integrity: Air-cooled, ducted split systems provide cooling to the building. There are five units located on the exterior of the building. Each system consists of a condensing unit and a fan coil unit. The systems have capacities ranging between two and five tons and distributes air through overhead ductwork. Replace each system when it reaches the end of its service life or as maintenance costs dictate. The systems currently utilize refrigerant R-22. It is recommended to replace the systems with new systems using R-410A. The budget includes a replacement in kind of the units with the reuse of ductwork. The units were installed between 1990 and 2005 and were manufactured by Rheem, Carrier, and Lennox.	20	TON	\$5,000.00			\$40,000	\$35,000		\$25,000							\$100,000	Priority 2 - Potentially Critical.
21	Building Integrity: Pipe insulation was not observed in the boiler room. A lack of piping insulation can be a considerable source of heat loss. It is recommended to add insulation to the piping in the boiler room to improve performance of the system.	1	EA	\$10,000.00			\$10,000										\$10,000	Priority 4 - Recommended.
22	Building Integrity: The building has a 40-gallon electric water heater located in a closet of the building. Replace the water heater when it reaches the end of its service life or as maintenance costs dictate. The budget includes a replacement in kind with the reuse of all associated piping and electrical wiring. The water heater was manufactured by State Industries.	1	EA	\$3,000.00	10	4						\$3,000					\$3,000	Priority 3 - Necessary - Not Yet Critical
23	Building Integrity: Eversource provides electrical service to the building. The building does not have any history of infrared scans being performed. It is recommended to engage a qualified contractor to perform a preliminary infrared scan of the primary electrical distribution equipment to identify potential electrical system issues. Infrared scans are recommended to become part of the building's annual preventative maintenance in order to detect electrical issues.	1	EA	\$3,000.00	3	2	\$3,000										\$3,000	Priority 4 - Recommended.
24	Life Safety Code Compliance: The Miniscan 424 was reportedly installed over 20 years ago and is obsolete. Replace the fire alarm panel. No fire alarm issues were reported by the client. The scope of work includes installation of a new fire alarm panel and fire alarm devices. Rewiring to system devices is not anticipated, nor is it included in the budget.	1	EA	\$25,000.00	20	19	\$25,000										\$25,000	Priority 2 - Potentially Critical.
<b>ACCESSIBILITY</b>																		
25	ADA: See the Town Hall cost table for the recommendation on the Transition Plan.	0	EA	\$0.00	0	0	\$0										\$0	Priority 4 - Recommended

Total (Uninflated)	\$501,500	\$92,000	\$0	\$106,000	\$0	\$3,000	\$155,000	\$24,500	\$33,500	\$24,500	\$940,000
Inflation Factor (4.0%)	1.0	1.04	1.082	1.125	1.17	1.217	1.265	1.316	1.369	1.423	
Total (inflated)	\$501,500	\$95,680	\$0	\$119,236	\$0	\$3,650	\$196,124	\$32,240	\$45,847	\$34,871	\$1,029,149

Evaluation Period:	10
# of Square Feet:	5,345

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
	Reserve per Square Feet per year (Uninflated)						\$18											
	Reserve per Square Feet per year (Inflated)						\$19											

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## 2.0 EXHIBITS

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# **FLOOD PLAIN DETERMINATION REPORT**

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# MARX/OKUBO & ASSOCIATES - NORTHEAST : Insurance Report

## DataVerify Flood Services

### *Determination Report*

**DATE: 11/16/23**

**Account Number: INS 97900589**

**MARX/OKUBO &  
ASSOCIATES - NORTHEAST**

Owner Name: 23-2104

Certified Street Address: 238 DANBURY RD, WILTON, CT 06897-4008

Requester: Sarah Helmrich Phone#: 914-269-5700 Fax#: 914-269-5720

Policy Number: 231116154345073

Community Name: WILTON, TOWN OF

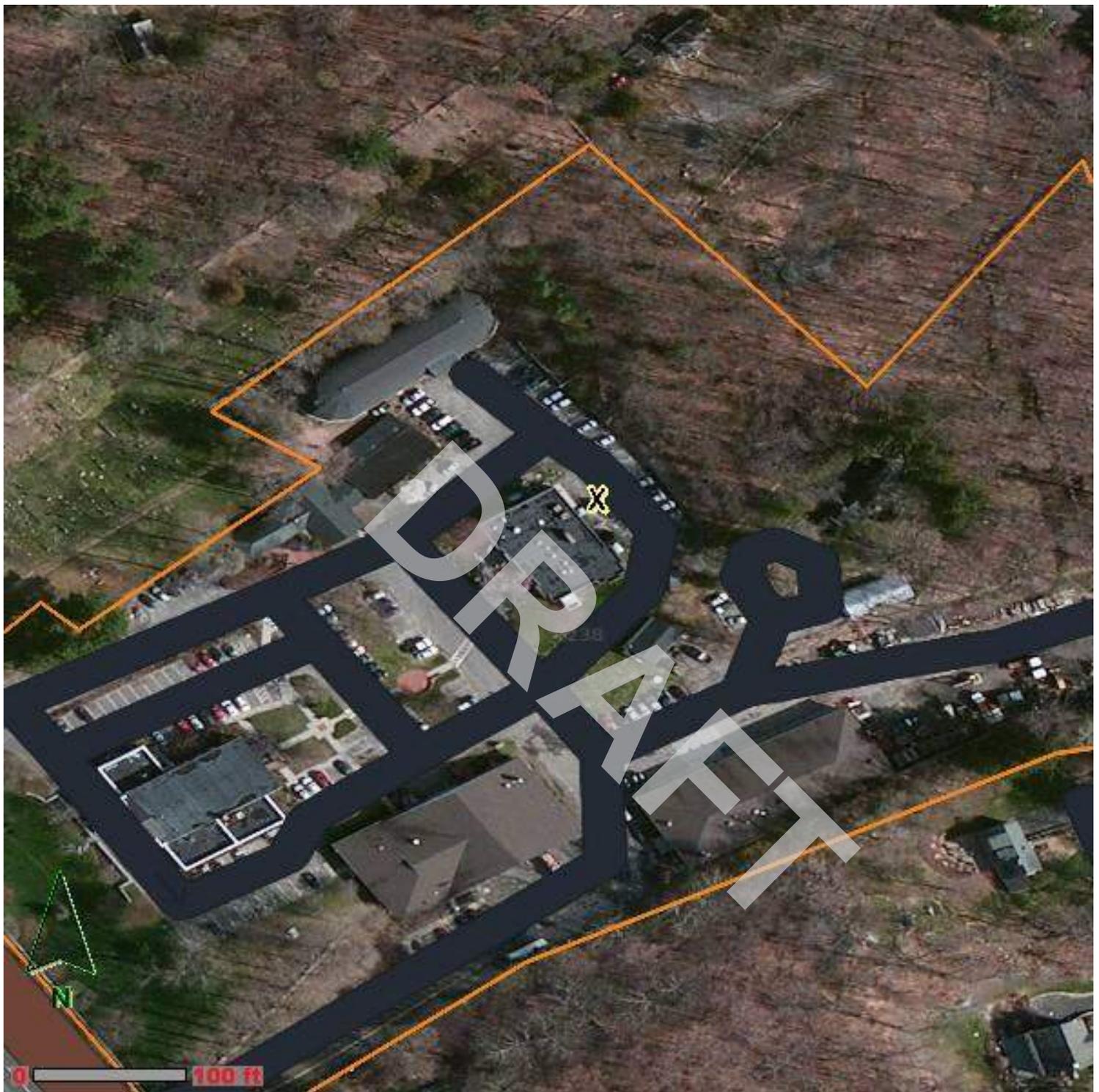
Community Status: Regular Program Type: Participating

Det ID: 345453337 Map Panel #: 09001C0383 F Community #: 090020 Panel Date: 06/18/10 Entry Date: 11/17/82

Det Date: 11/16/23 Flood Zone: X BFE: 263 (Vertical Datum:NAVD88) LOMA/LOMR  DATE:

**Areas of minimal flooding. Areas determined to be outside 500 year flood plain.**

**This flood determination is provided to the lender pursuant to the flood disaster protection act and for no other purpose. It does not create any private cause of action on behalf of the Policy Holder against DataVerify Flood Services.**



<b>Flood Zones Legend</b>	A Values	X500 /SHX / B	X / C
	D / NMA	V Values	Street

**Determination Id :** 345453337  
**Certified Address :** 238 DANBURY RD, WILTON, CT 06897-4008  
**Flood Zone :** X  
**Base Flood Elevat :** N/A  
**FEMA Map Panel Number :** 09001C0383 F  
**FEMA Map Panel Eff. Date :** 06/18/10  
**Coast CBRA Date :**  
**LOMA LOMR Date :**  
**Distance To 100/500 :**  
**Flood Zone**

DISCLAIMER: THIS MAP IMAGE IS PROVIDED AS A VISUAL AID WITHOUT ANY WARRANTIES OR GUARANTEES; IT DOES NOT CREATE ANY PRIVATE CAUSE OF ACTION ON BEHALF OF THE BORROWERS OR INSURED PROPERTY OWNERS AGAINST THE FLOOD DETERMINATION PROVIDER. DISTANCE TO 100/500 YEAR FLOOD AREA IS AN APPROXIMATION CALCULATED FROM GEOCODING TECHNOLOGY AND IS NON-GUARANTEED.

# PHOTOGRAPHS

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1 - Overview of the Annex Building.



2 - Signage is provided at the front of the facility to identify the building name.



3 - Deteriorated mortar was observed at the brick garden wall, adjacent to the patio.



4 - A brick paved patio is provided at the front of the facility.



5 - Staining and deteriorated mortar was observed at the brick garden wall along the east façade.



6 - Annex building roof consists of asphalt shingles. Interior areas below the roof valley had instances of water intrusion.



7 - Localized areas of the CMU (concrete masonry unit) facade have stepped cracking, cracked mortar joint and cracked units along the window lintel. Parging coat is peeling along the base CMU courses. Windows are in poor condition.



8 - Exterior surfaces along the façade have peeling paint finishes, debris accumulation, and organic growth stains.



9 - CMU finishes and mortar joints along the facade are deteriorating.



10 - Exterior wall finishes at the animal shelter stucco facade are in poor condition.



11 - Quarter circle window units along the south facade have failed.



12 - Insulating glass units within the quarter round windows have failed and have internal condensation.



13 - Window units along the south facade are in fair condition.



14 - Hollow metal egress door along the north facade is in poor condition.



15 - Exterior surfaces along the north facade egress door are in poor condition.



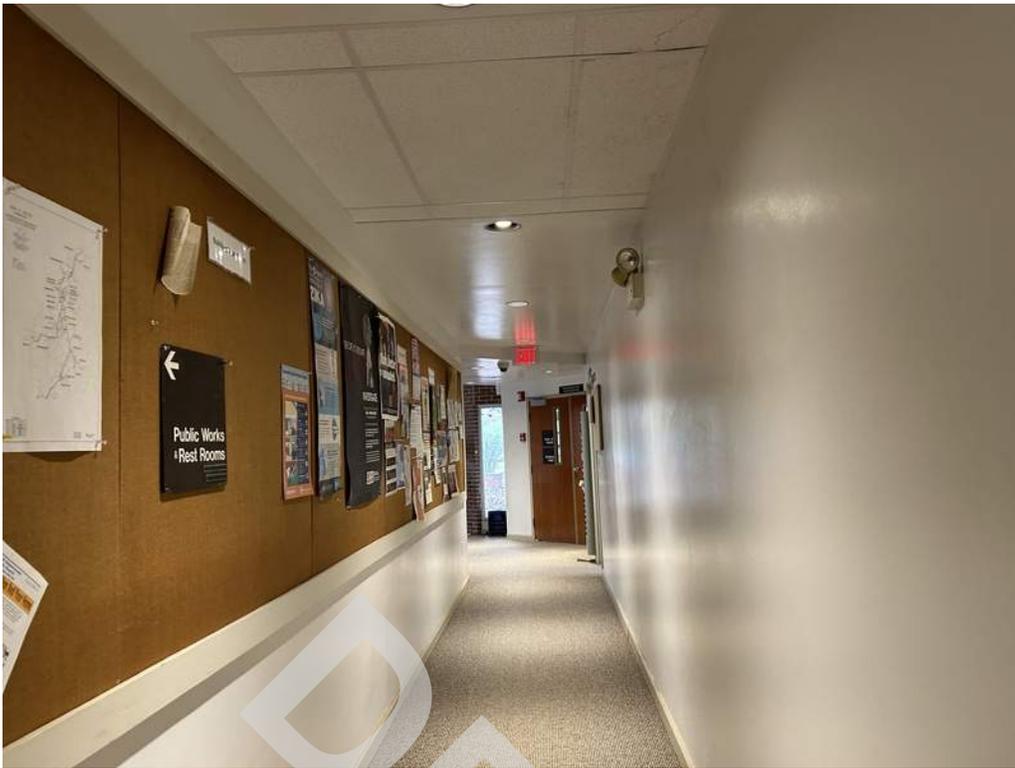
16 - Wooden trim and soffits along the roof perimeter are in poor condition. Wood has rotted and paint finish is peeling.



17 - Wood trim paint finishes are cracking.



18 - Wood trim around the animal shelter kennel roof has rotted.



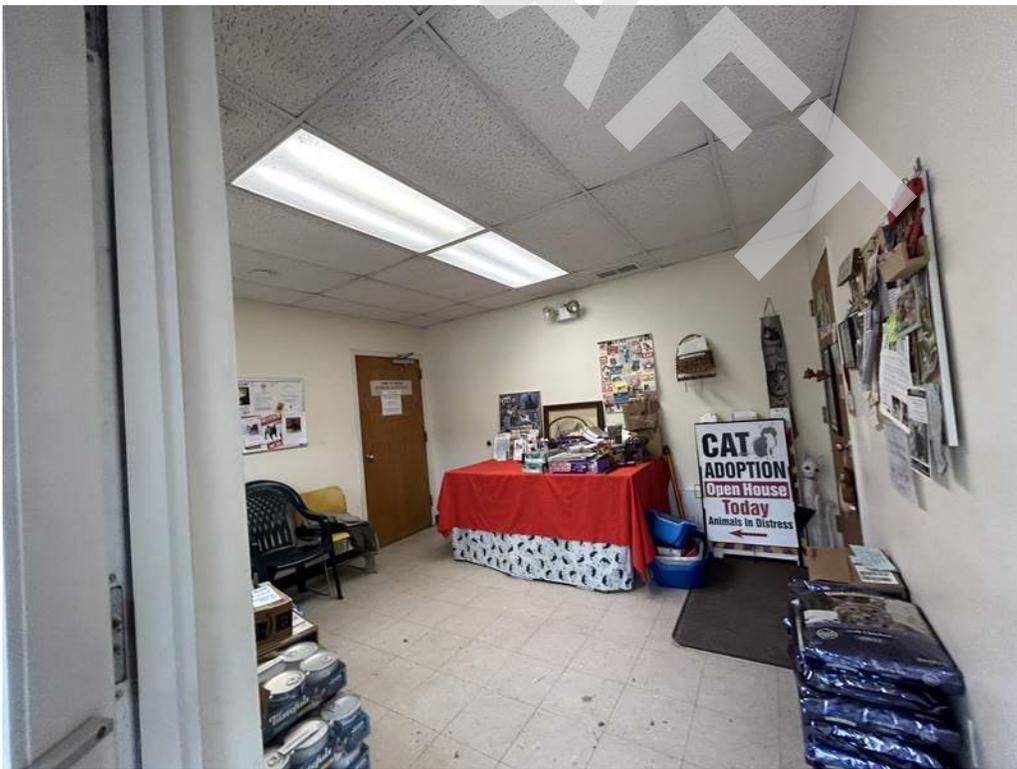
19 - Interior corridor finishes consists of painted gypsum wall boards, suspended ceilings with acoustic tiles, and carpet floors.



20 - Interior finishes at conference rooms consist of painted gypsum wall and ceiling boards and carpet floors.



21 - Instances of paint peeling at isolated areas was observed at the facility.



22 - Interior finishes at the waiting room in the animal shelter consist of painted gypsum wall boards, suspended ceilings with acoustic tiles, and vinyl composite tile floors.



23 - An oil fired boiler located in a mechanical closet provides heating hot water throughout the building.



24 - Split system air conditioning units are located on the exterior and provide cooling to the building.



25 - An electric storage-type water heater is located in a closet and provides hot water throughout the building.



26 - The building is provided with a Miniscan 424 Fire Alarm Panel.



27 - Power assisted door at the drop box entrance is not operating.



28 - Illuminated exit signs are not provided along the path of egress.



29 - Illuminated exit sign is not provided at the door exiting from the animal shelter kennel.

## FACILITY CONDITION ASSESSMENT

# FIRE HEADQUARTERS

238 Danbury Road  
Wilton, Connecticut



Prepared for:

**Town of Wilton**  
238 Danbury Road  
Wilton, Connecticut 06897  
Attention: Mr. Jeff Pardo  
jeff.pardo@wiltonct.org

Marx|Okubo Job No. 23-2104

February 2, 2024

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## 1.0 DEFICIENCIES AND RECOMMENDATIONS

Recommendations for remedial work addressing significant building deficiencies are included in this section. Recommendations are divided into *Immediate Work Items* and *Capital Work Items*.

The cost threshold for this project is \$3,000. Items that do not meet this threshold are excluded from our recommendations.

**Immediate Work Items:** Include items that correct safety and life-threatening building and/or fire code violations; items that, if left unrepaired over the next year, would result in serious damage to the building or its contents; and elements not compliant with federal accessibility regulations. These items should be undertaken on a priority basis taking precedence over routine preventive maintenance work.

**Capital Work Items:** Include items that are customarily repaired or replaced over several years due to economic considerations (e.g. paving, roofs, appliances), items which are currently in acceptable condition but will reach or exceed their useful economic service life during the term, and items that are periodic in nature but not considered normal maintenance (e.g. pavement seal coating, painting). Also included are significant energy-saving or operational improvements. These opinions of cost are generally based on industry-accepted life spans for these systems unless there are mitigating circumstances.

In addition, based on the Request for Qualifications/Proposals requirements, Marx|Okubo Associates, Inc. has assigned Facility Deficiency Priorities and Categories as follows:

Facility Deficiency Priorities:

- Priority 1 - Current Critical (Assigned to the Immediate Work items described above)
- Priority 2 - Potentially Critical
- Priority 3 - Necessary – Not Yet Critical
- Priority 4 - Recommended
- Priority 5 - Does not meet current codes/standards

Facility Deficiency Categories:

- Life Safety Code Compliance
- Building Code Compliance
- Building Integrity
- Appearance
- Energy
- Environmental

**IMMEDIATE REPAIR COST**

Prepared By: Marx|Okubo Associates, Inc.  
 Building(s) Gross Area (S.F.): 12,494  
 Property Age (Years): 43

Built in 1980

Date Prepared: February 2, 2024

#	Item	QTY	Unit	Unit Cost	Replacement Percent	Immediate Total	Comments
<b>ACCESSIBILITY</b>							
1	ADA: The visitor entrance provided at the rear side of the building is non complaint as the threshold exceeds the allowable height. Replace threshold or modify finish surfaces to reduce effective threshold and meet compliance.	1	LS	\$1,000.00	100%	\$1,000	Priority 1 - Current Critical.
2	ADA: Based on the Site Layout Plan provided, there are approximately 14 parking spaces serving the rear side of the facility. No accessible parking spaces were observed. Based on the total number of spaces provided a minimum of one van accessible parking spaces is required. Provide one designated van accessible parking space with complaint signage and curb ramp adjoining an accessible route.	1	LS	\$2,000.00	100%	\$2,000	Priority 1 - Current Critical.
Total Repair Cost						\$3,000	

### CAPITAL RESERVE SCHEDULE

Prepared By: Marx|Okubo Associates, Inc.  
 Building(s) Gross Area (S.F.): 12,494  
 Property Age (Years): 43 Built in 1980

Date Prepared: February 2, 2024  
 Term: 10  
 Inflation Rate: 4%

Footnotes: <sup>1 2 3 4</sup>

Advisory Items are not included in the 10-year capital reserve schedule.

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
<b>SITE</b>																		
1	Appearance - See the Town Hall cost table for recommendations on asphalt paved drive lanes and parking areas.	0	EA	\$0.00			\$0										\$0	Priority 4 - Recommended.
2	Ⓟ Building Integrity: Instances of spalled and cracked concrete were observed at localized areas at sidewalks and concrete aprons. Patch or remove and repour concrete. Budget includes approximately 15% of the concrete paved surfaces.	200	SF	\$20.00	10	9	\$4,000										\$4,000	Priority 4 - Recommended.
<b>STRUCTURE</b>																		
3	Building Integrity: The structure is supported by a cast-in-place reinforced concrete foundation wall. Areas of the foundation wall have cracked and spalled. Patch and repair concrete cracks and spalling.	1	LS	\$3,000.00				\$3,000									\$3,000	Priority 3 - Necessary - Not Yet Critical.
4	Ⓟ Building Integrity: The apparatus room is provided with a cast-in-place concrete slab on grade that appears to be original to the building. Localized continuous cracks as well as spalled and eroded areas were present. The surfaces also appear to be unevenly sloped. Perform a phased replacement of the complete the slab-on-grade including vapor barrier, floor drains, drain lines, and striping. Repair scope may include sub surface repair and preparation, and should be carried out in phases to minimize impact on the operation of the facilities.	6,500	SF	\$25.00	50	48		\$162,500									\$162,500	Priority 3 - Necessary - Not Yet Critical.
5	Building Integrity: Engage the services of an engineering firm to provide design documents and specifications for the apparatus room slab replacement.	1	LS	\$15,000.00				\$15,000									\$15,000	Priority 3 - Necessary - Not Yet Critical.
6	A budget is provided for design and construction contingencies related to the structural repair work.	1	LS	\$18,000.00		43		\$18,000									\$18,000	
<b>ENVELOPE AND EXTERIOR</b>																		
7	Ⓟ Building Integrity: Roof consists of a hip and valley configuration covered with asphalt shingles, reportedly installed in 2003. The roof appears to be in serviceable condition, with localized areas of organic growth and reported water intrusion instances at the mezzanine level. Perform localized repairs early in the term and replace the roof when it reaches the end of it's useful life.	14,000	SF	\$10.00	30	21	\$10,000								\$130,000		\$140,000	Priority 3 - Necessary - Not Yet Critical.
8	Ⓟ Building Integrity: It was reported that during high rain events, the roof gutters and leaders do not have an adequate capacity to handle the stormwater, and gutters occasionally overflow and cause damages to the system. Engage the services of a qualified company to review the conditions, prepare recommendations, calculations, and design a system that can handle the volume of rainwater.	1	LS	\$10,000.00			\$10,000										\$10,000	Priority 3 - Necessary - Not Yet Critical.

1. Opinions of cost are based on limited observations of readily observable conditions and available documentation. Determination of actual costs require competitive bidding by qualified contractors on a scope of work that may require development of repair documents by a qualified engineer or architect.  
 2. Marx|Okubo is not an environmental consultant or evaluator of pest infestation. Opinions of cost exclude abatement of hazardous materials or remediation of pest infestations unless otherwise noted.  
 3. This cost table is a supplementary document to the report and should be reviewed in conjunction with the full report and exhibits.  
 4. Marx|Okubo's standard inflation rate for the purposes of the Capital Reserve Schedule is 3%. At the request of the Town of Wilton, the rate has been adjusted to 4%.

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
9	Building Integrity: Based on the design and recommendations from the roof consultant, repair, replace, or provide new gutter and leaders throughout the roof.	1	LS	\$35,000.00			\$35,000										\$35,000	Priority 3 - Necessary - Not Yet Critical.
10	Energy: Portions of the sloped roof could be considered for the addition of photovoltaic (PV) solar panels. Engage the services of a registered Structural Engineer to perform an analysis to determine if the structure can support the added loads of a PV system as well as a qualified party to perform a feasibility study, including a solar analysis. Based on the results of a preliminary structural and solar analysis, consideration could be given to the addition of PV panels on the roof. The results of the analysis will determine the system's limitations and requirements. PV solar panels can provide the building with a renewable, clean source of energy.	1	LS	\$15,000.00			\$15,000										\$15,000	Priority 4 - Recommended
11	Energy: Advisory - Based on the results of the feasibility study, install PV system. The cost could be in the order of \$15 to \$25 per square foot. Potential savings could be anticipated if rebate programs and/or incentives are available and if the project is considered at a portfolio level. The scope of work may include the installation of solar panels, wiring, inverters, electrical panels, and monitoring systems.	7,000	SF	\$25.00			\$0										\$0	Priority 4 - Recommended.
12	Ⓟ Building Integrity: Exterior sealant around the doors, windows, and wall joints is in poor condition and has failed. Replace all sealants.	1	LS	\$10,000.00			\$10,000										\$10,000	Priority 3 - Necessary - Not Yet Critical.
13	Ⓟ Building Integrity/energy: Windows throughout the building consist of a combination of fixed arched and operable rectangular wood framed assemblies with single pane glass, as well as metal framed windows at the dispatcher office, and appear to be original to the building. Wood surfaces through the frames have deteriorated and are in poor condition, and metal frames are starting to deteriorate. Perform complete window replacement program.	28	EA	\$3,600.00			\$100,000										\$100,000	Priority 3 - Necessary - Not Yet Critical.
14	Ⓟ Building Integrity: Exterior doors, selected door frames and steel lintel metal surfaces are in poor condition, with deficiencies consisting of surface corrosion and peeling finishes. Perform a comprehensive metal surfaces refurbishment program that includes removing corrosion, preparing for painting and painting with a corrosion resistant coating.	1	LS	\$8,000.00			\$8,000										\$8,000	Priority 3 - Necessary - Not Yet Critical.
15	Ⓟ Building Integrity: A stone paver landing and stair is provided outside the door that exits from the volunteer meeting room. Stone pavers have cracked at the landing and treads, and handrails are not provided. Replace broken and cracked stone pavers, and provide handrails along the steps.	1	LS	\$6,000.00			\$6,000										\$6,000	Priority 2 - Potentially Critical.
16	A budget is provided for general contractor overhead, profit, and general conditions associated to the envelope and exterior work.	1	LS	\$100,000.00			\$70,000								\$30,000		\$100,000	
17	A budget is provided for architectural/engineering fees associated to the envelope and exterior work.	1	LS	\$60,000.00			\$40,000								\$20,000		\$60,000	
18	A budget is provided for design and construction contingencies associated to the envelope and exterior work.	1	LS	\$45,000.00			\$30,000								\$15,000		\$45,000	
19	Advisory: No reports of hazardous materials were provided, however, based on other buildings of similar age in the portfolio, the presence of hazardous materials is possible. Consideration could be given to providing a separate budget for test and abatement of exterior materials.	0	LS	\$0.00			\$0										\$0	Priority 2 - Potentially Critical.

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
<b>INTERIOR IMPROVEMENTS</b>																		
20	Appearance: Interior finishes were observed to generally be in fair to good condition. The age of the finishes is unknown; however, deteriorated floor finishes, and missing baseboards, was observed at localized areas throughout the building. Perform localized repairs early in the term and continue with phased replacement of interior improvements as conditions warrant due to wear and tear with age. The budget assumes approximately 20% of the total square feet. Interior finishes generally consist of painted gypsum wall and ceiling boards; suspended ceilings with acoustic tiles; vinyl, carpet, or tile floors.	2,500	SF	\$100.00	0	0	\$50,000						\$50,000	\$50,000	\$50,000	\$50,000	\$250,000	Priority 3 - Potentially Critical.
21	A budget is provided for general contractor overhead, profit, general conditions associated to interior renovations.	1	SF	\$62,500.00			\$12,500						\$12,500	\$12,500	\$12,500	\$12,500	\$62,500	
22	A budget is provided for architectural/engineering fees associated to the interior renovations.	1	LS	\$37,500.00			\$7,500						\$7,500	\$7,500	\$7,500	\$7,500	\$37,500	
23	A budget is provided for design and construction contingencies related to interior renovations.	1	LS	\$30,000.00			\$6,000						\$6,000	\$6,000	\$6,000	\$6,000	\$30,000	
24	Advisory: No reports of hazardous materials were provided, however, based on other buildings of similar age in the portfolio, the presence of hazardous materials is possible. Consideration could be given to providing a separate budget for test and abatement of interior materials.	1	LS	\$0.00			\$0						\$0	\$0	\$0	\$0	\$0	Priority 2 - Potentially Critical.
<b>MECHANICAL/ELECTRICAL/PLUMBING</b>																		
25	Building Integrity: Four heating hot water boilers provide heating to the building. The boilers are located in a mechanical room, and each are rated for 300,000 British Thermal Units (BTU) per hour. The boilers were installed in approximately 2000 and reportedly function properly and appear to be in fair condition. Replacement of the boilers is recommended as they reach the end of their service life or as maintenance costs dictate. The budget includes a replacement in kind of the boilers with the reuse of all associated piping. The boilers were manufactured by Slant/Fin.	2	EA	\$20,000.00	30	23							\$20,000	\$20,000			\$40,000	Priority 3: Necessary - Not Yet Critical
26	Building Integrity: Air-cooled, ducted split systems provide cooling to the building. There are two units located on the exterior of the building and one in the garage. Each system consists of a condensing unit and a fan coil unit. The systems have capacities ranging between two and ten tons and distributes air through overhead ductwork. Replace each system when it reaches the end of its service life or as maintenance costs dictate. The budget includes a replacement in kind of the units with the reuse of ductwork, refrigerant piping, and controls. The units were installed between 2009 and 2010 and were manufactured by Trane and Mitsubishi.	16	EA	\$5,000.00	15	14	\$40,000	\$40,000									\$80,000	Priority 3: Necessary - Not Yet Critical
27	Building Integrity: A portable air conditioning unit is located in the gym. The systems has a capacity of one ton. Upgrade the unit with a new split system for dedicated cooling when it reaches the end of its service life or as maintenance costs dictate. The budget includes a new split system including an outdoor condensing unit as well as an indoor fan coil unit along with new refrigerant piping. The units was installed in 2007 and was manufactured by Movin Cool.	1	TON	\$7,500.00	15	14	\$7,500										\$7,500	Priority 4 - Recommended
28	Building Integrity: The team was informed of temperature control issues in the office area of the building. Additionally, the apparatus room is currently provided with unit hot water unit heaters. An upgrade to the building cooling system and heating in the apparatus room may result in better comfort, however, it could be invasive and will require engineering design, installation drawings, and general conditions. Engage an engineering firm to review existing conditions, determine necessary upgrade scope and equipment selections, and prepare design drawings for competitive bidding.	1	EA	\$30,000.00	1	0	\$30,000										\$30,000	Priority 4 - Recommended

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
29	Building Integrity: Based on limited observation of the building's current systems, the cooling system could be upgraded in a variety of ways. A solution could include installing a main variable refrigerant flow system with multiple fan coil units to allow for separate temperature control of different rooms. The exact scope and budget required to upgrade the building's cooling system and the heating system in the apparatus room will be known once an engineering firm has completed their calculations and have sent design drawings out to contractors for bid. This work could cost on the order of \$300,000 and would remove the need to replace the existing cooling systems within the term.	1	EA	\$300,000.00	1	0	\$300,000										\$300,000	Priority 4 - Recommended
30	Building Integrity: The building has a 40-gallon electric water heater located on the first floor of the building. Replace the water heater when it reaches the end of its service life or as maintenance costs dictate. The budget includes a replacement in kind with the reuse of all associated piping and electrical wiring. The water heater was manufactured by AO Smith.	1	EA	\$3,000.00	10	9	\$3,000										\$3,000	Priority 3 - Necessary - Not Yet Critical
31	Building Integrity: The building has a 190,000 Btu/h input propane fired water heater located on the second floor of the building. Replace the water heater when it reaches the end of its service life or as maintenance costs dictate. The budget includes a replacement in kind with the reuse of all associated piping and electrical wiring. The water heater was manufactured by Rinnai.	1	EA	\$5,000.00	10	9	\$5,000										\$5,000	Priority 3 - Necessary - Not Yet Critical
32	Building Integrity: The Rinnai tankless water heater is currently in a location that makes it difficult to service. It is recommended to relocate the water heater to allow for easier access. This work can be done when the water heater is replaced at the end of its service life. A budget for this work includes extending the current piping to the new location of the water heater as well as relocating the water heater.	1	EA	\$5,000.00	1	0	\$5,000										\$5,000	Priority 4 - Recommended
33	Building Integrity: Eversource provides electrical service to the building. The building does not have any history of infrared scans being performed. It is recommended to engage a qualified contractor to perform a preliminary infrared scan of the primary electrical distribution equipment to identify potential electrical system issues. Infrared scans are recommended to become part of the building's annual preventative maintenance in order to detect electrical issues.	1	EA	\$3,000.00	3	2	\$3,000										\$3,000	Priority 4 - Recommended
<b>ACCESSIBILITY</b>																		
34	ADA: See the Town Hall cost table for the recommendation on the Transition Plan.	0	EA	\$0.00	0	0	\$0										\$0	Priority 4 - Recommended

Total (Uninflated)	\$807,500	\$238,500	\$0	\$0	\$0	\$0	\$96,000	\$96,000	\$271,000	\$76,000	\$1,585,000
Inflation Factor (4.0%)	1.0	1.04	1.082	1.125	1.17	1.217	1.265	1.316	1.369	1.423	
Total (inflated)	\$807,500	\$248,040	\$0	\$0	\$0	\$0	\$121,471	\$126,329	\$370,882	\$108,172	\$1,782,394

Evaluation Period:	10
# of Square Feet:	12,494
Reserve per Square Feet per year (Uninflated)	\$13
Reserve per Square Feet per year (Inflated)	\$14

## 2.0 EXHIBITS

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# **FLOOD PLAIN DETERMINATION REPORT**

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# MARX/OKUBO & ASSOCIATES - NORTHEAST : Insurance Report

## DataVerify Flood Services

### *Determination Report*

**DATE: 11/16/23**

**Account Number: INS 97900589**

**MARX/OKUBO &  
ASSOCIATES - NORTHEAST**

Owner Name: 23-2104

Certified Street Address: 238 DANBURY RD, WILTON, CT 06897-4008

Requester: Sarah Helmrich Phone#: 914-269-5700 Fax#: 914-269-5720

Policy Number: 231116154345073

Community Name: WILTON, TOWN OF

Community Status: Regular Program Type: Participating

Det ID: 345453337 Map Panel #: 09001C0383 F Community #: 090020 Panel Date: 06/18/10 Entry Date: 11/17/82

Det Date: 11/16/23 Flood Zone: X BFE: 263 (Vertical Datum:NAVD88) LOMA/LOMR  DATE:

**Areas of minimal flooding. Areas determined to be outside 500 year flood plain.**

**This flood determination is provided to the lender pursuant to the flood disaster protection act and for no other purpose. It does not create any private cause of action on behalf of the Policy Holder against DataVerify Flood Services.**



<b>Flood Zones Legend</b>	A Values	X500 /SHX / B	X / C
	D / NMA	V Values	Street

**Determination Id :** 345453337  
**Certified Address :** 238 DANBURY RD, WILTON, CT 06897-4008  
**Flood Zone :** X  
**Base Flood Elevat :** N/A  
**FEMA Map Panel Number :** 09001C0383 F  
**FEMA Map Panel Eff. Date :** 06/18/10  
**Coast CBRA Date :**  
**LOMA LOMR Date :**  
**Distance To 100/500 :**  
**Flood Zone**

DISCLAIMER: THIS MAP IMAGE IS PROVIDED AS A VISUAL AID WITHOUT ANY WARRANTIES OR GUARANTEES; IT DOES NOT CREATE ANY PRIVATE CAUSE OF ACTION ON BEHALF OF THE BORROWERS OR INSURED PROPERTY OWNERS AGAINST THE FLOOD DETERMINATION PROVIDER. DISTANCE TO 100/500 YEAR FLOOD AREA IS AN APPROXIMATION CALCULATED FROM GEOCODING TECHNOLOGY AND IS NON-GUARANTEED.

# PHOTOGRAPHS

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1 - Overview of the building.



2 - Spalled concrete was observed at localized areas at sidewalks.



3 - Areas along of the cast-in-place reinforced concrete foundations walls have spalled and appear to have been previously repaired.



4 - The apparatus room slab on grade is uneven, has spalled, and has continuous cracks.



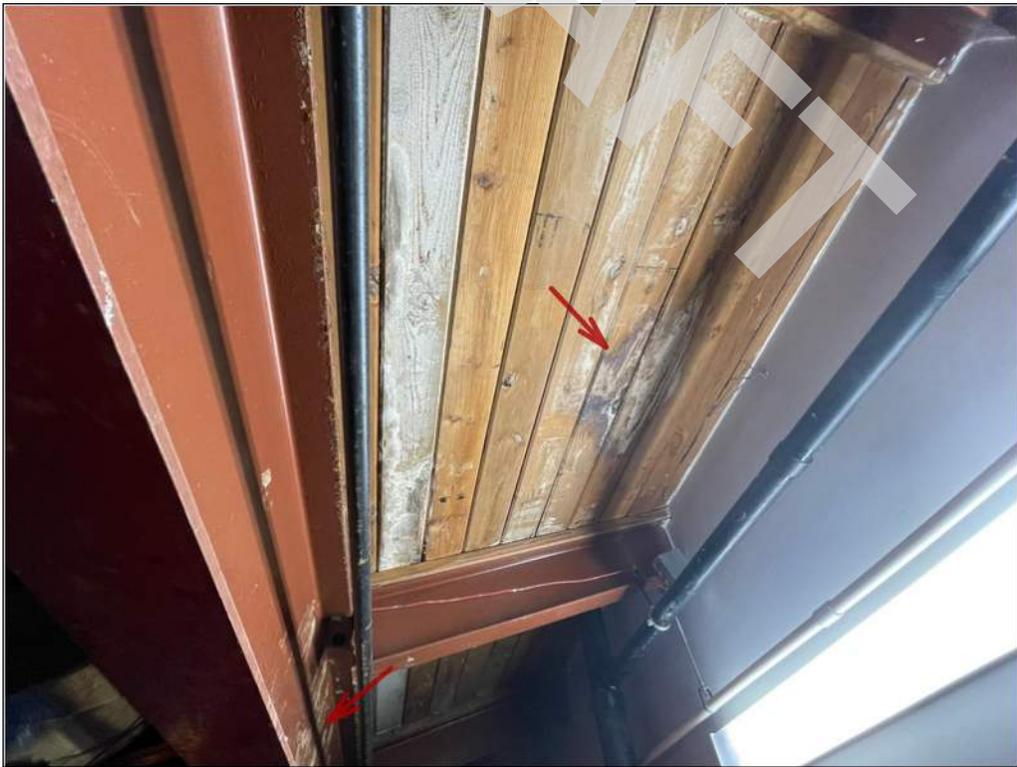
5 - Evidence of previously repaired cracks on the apparatus room slab on grade.



6 - Spalling along the base of an overhead door.



7 - Roof consists of asphalt shingles.



8 - Areas of noted and reported water intrusion at the mezzanine ceiling.



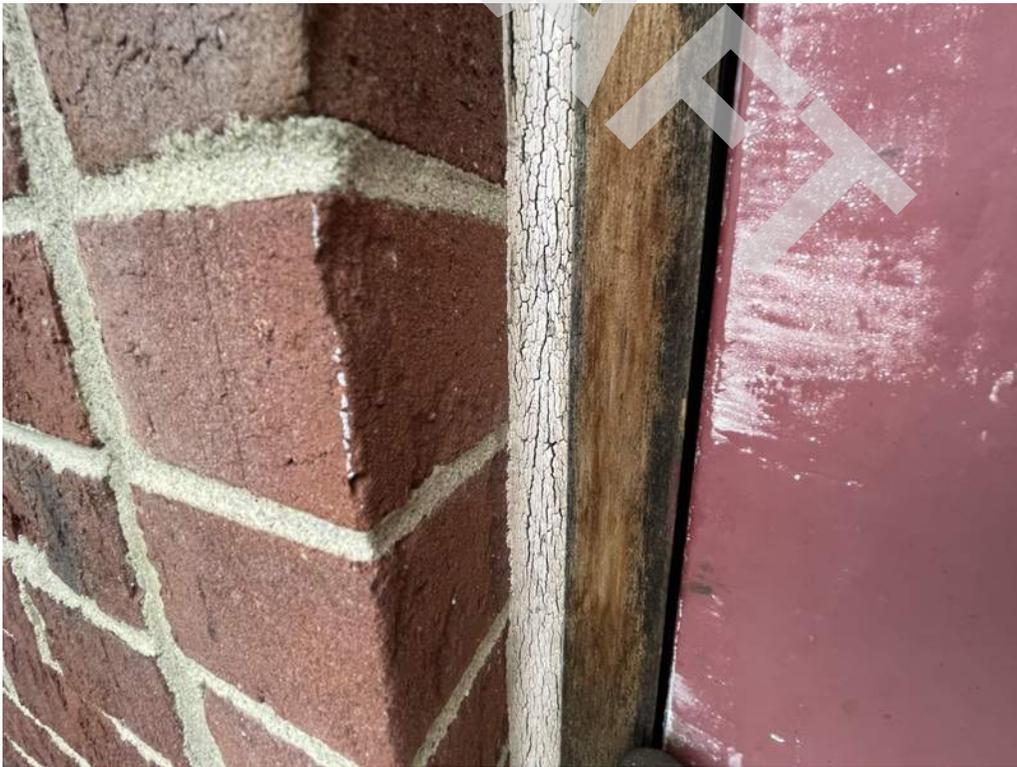
9 - Roof gutter and leaders are provided throughout the roof perimeter.



10 - Instances of the roof leader connection to the building's stormwater system are broken.



11 - Wood framing surfaces at the operable and fixed windows throughout the building have worn out and are in fair condition.



12 - Perimeter joint sealant has failed.



13 - Hollow metal door surface and finishes are in poor condition.



14 - Side light framing has corroded along the bottom. Hollow metal door surfaces are in fair condition.



15 - Metal surface of the lintel at the louver opening has corroded.



16 - Stone paver landing and steps are provided outside the volunteer meeting room exit door.



17 - Stone pavers have cracked and are missing pieces.



18 - Interior corridor finishes generally consist of painted gypsum walls boards or masonry, suspended ceilings with acoustic tiles, and vinyl composite tile floors. Chipped floor tiles and missing baseboards were observed.



19 - Split system air conditioning units are located on the exterior of the building and provide cooling throughout the building.



20 - A portable air conditioning unit is utilized for supplemental cooling in the gym.



21 - Two oil fired boilers provide heating hot water throughout the building.



22 - An electric storage-type water heater located on the first floor provides hot water throughout the building.



23 - A propane fired tankless water heater is located on the second floor and provides hot water throughout the building.



24 - A diesel-fired emergency generator located in a generator room in the Fire Headquarters provides emergency power to the Fire Headquarters and Garage buildings.



25 - The building is provided with a MS-9050UD Fire Alarm Panel.



26 - The building is equipped with a wet sprinkler system.



27 - The visitor entrance provided at the rear side of the building is non compliant as the threshold exceeds the allowable height.

## FACILITY CONDITION ASSESSMENT

# HIGHWAY GARAGE

238 Danbury Road  
Wilton, Connecticut



Prepared for:

**Town of Wilton**  
238 Danbury Road  
Wilton, Connecticut 06897  
Attention: Mr. Jeff Pardo  
jeff.pardo@wiltonct.org

Marx|Okubo Job No. 23-2104

February 2, 2024

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## 1.0 DEFICIENCIES AND RECOMMENDATIONS

Recommendations for remedial work addressing significant building deficiencies are included in this section. Recommendations are divided into *Immediate Work Items* and *Capital Work Items*.

The cost threshold for this project is \$3,000. Items that do not meet this threshold are excluded from our recommendations.

**Immediate Work Items:** Include items that correct safety and life-threatening building and/or fire code violations; items that, if left unrepaired over the next year, would result in serious damage to the building or its contents; and elements not compliant with federal accessibility regulations. These items should be undertaken on a priority basis taking precedence over routine preventive maintenance work.

**Capital Work Items:** Include items that are customarily repaired or replaced over several years due to economic considerations (e.g. paving, roofs, appliances), items which are currently in acceptable condition but will reach or exceed their useful economic service life during the term, and items that are periodic in nature but not considered normal maintenance (e.g. pavement seal coating, painting). Also included are significant energy-saving or operational improvements. These opinions of cost are generally based on industry-accepted life spans for these systems unless there are mitigating circumstances.

In addition, based on the Request for Qualifications/Proposals requirements, Marx|Okubo Associates, Inc. has assigned Facility Deficiency Priorities and Categories as follows:

Facility Deficiency Priorities:

- Priority 1 - Current Critical (Assigned to the Immediate Work items described above)
- Priority 2 - Potentially Critical
- Priority 3 - Necessary – Not Yet Critical
- Priority 4 - Recommended
- Priority 5 - Does not meet current codes/standards

Facility Deficiency Categories:

- Life Safety Code Compliance
- Building Code Compliance
- Building Integrity
- Appearance
- Energy
- Environmental

**IMMEDIATE REPAIR COST**

Prepare4d By: Marx|Okubo Associates, Inc. Date Prepared: February 2, 2024  
 Building(s) Gross Area (S.F.): 11,691  
 Property Age (Years): 43 Built in 1980 Addition in 1982

#	Item	QTY	Unit	Unit Cost	Replacement Percent	Immediate Total	Comments
<b>SITE</b>							
1	No Significant issues noted or reported.	0	EA	\$0.00	0%	\$0	
Total Repair Cost						\$0	

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### CAPITAL RESERVE SCHEDULE

Prepared By:	Marx Okubo Associates, Inc.	Date Prepared:	February 2, 2024
Building(s) Gross Area (S.F.):	11,691	Term:	10
Property Age (Years):	43	Inflation Rate:	4%
	Built in 1980 Addition in 1982		

Footnotes: <sup>1 2 3 4</sup> Advisory Items are not included in the 10-year capital reserve schedule.

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
<b>SITE</b>																		
1	Ⓟ Building Integrity: Advisory - The catch basin at the south west corner of the building was noted to have debris accumulation and does not appear to be providing adequate drainage. Remove all debris as part of a regular maintenance and repair program. Work can be done by maintenance personnel, therefore, no budget is provided.	0	EA	\$0.00			\$0										\$0	Priority 2 - Potentially Critical.
2	Appearance - See the Town Hall cost table for recommendations on asphalt paved drive lanes and parking areas.	0	EA	\$0.00	0	0	\$0										\$0	Priority 4 - Recommended.
3	Ⓟ Building Integrity: Instances of spalled and cracked concrete was observed a localized areas at the concrete aprons and walkways. Patch or remove and repour concrete. Budget includes approximately 10% of the concrete paved surfaces. Work to include scraping and repainting bollards.	250	SF	\$20.00	0	0	\$5,000										\$5,000	Priority 4 - Recommended.
<b>STRUCTURE</b>																		
4	Ⓟ Building Integrity: Vertical support system consist of steel columns along the exterior perimeter of the building. Metal surfaces and finishes are in poor condition, including corroded metal surfaces and peeling finish. Remove corrosion from metal surfaces, prepare for painting and paint throughout.	150	EA	\$20.00			\$3,000										\$3,000	Priority 3 - Necessary - Not Yet Critical.
5	Ⓟ Building Integrity: The building enclosure and structure along the south side of the building consists of cast-in-place reinforced concrete walls. Localized cracks along the interior wall surfaces were noted. Repair cracks.	50	LF	\$100.00			\$5,000										\$5,000	Priority 3 - Necessary - Not Yet Critical.
6	Ⓟ Building Integrity: The slabs at the garages consist of reinforced concrete slabs-on-grade. Localized areas of the slabs have cracked and spalled. Perform a phased slab replacement program, starting with the damaged areas in the first stage and the remaining areas when they reach the end of their useful life. Scope of work includes providing new floor drains, piping, vapor barrier, and repairing subgrade conditions.	9,000	SF	\$25.00	50	44	\$160,000					\$65,000					\$225,000	Priority 3 - Necessary - Not Yet Critical.
7	Building Integrity: Engage the services of an engineering firm to provide design documents and specifications for the garage slab replacement program.	1	LS	\$15,000.00			\$15,000										\$15,000	Priority 3 - Necessary - Not Yet Critical.
8	A budget is provided for general contractor overhead, profit, and general conditions associated to the slab replacement work.	1	LS	\$56,000.00			\$40,000					\$16,000					\$56,000	
9	A budget is provided for architectural/engineering fees associated to the slab replacement.	1	LS	\$34,000.00			\$24,000					\$10,000					\$34,000	

1. Opinions of cost are based on limited observations of readily observable conditions and available documentation. Determination of actual costs require competitive bidding by qualified contractors on a scope of work that may require development of repair documents by a qualified engineer or architect.
2. Marx|Okubo is not an environmental consultant or evaluator of pest infestation. Opinions of cost exclude abatement of hazardous materials or remediation of pest infestations unless otherwise noted.
3. This cost table is a supplementary document to the report and should be reviewed in conjunction with the full report and exhibits.
4. Marx|Okubo's standard inflation rate for the purposes of the Capital Reserve Schedule is 3%. At the request of the Town of Wilton, the rate has been adjusted to 4%.

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
10	A budget is provided for design and construction contingencies associated to the slab replacement work.	1	LS	\$22,000.00			\$16,000					\$6,000					\$22,000	
<b>ENVELOPE AND EXTERIOR</b>																		
11	Ⓟ Building Integrity: The roof gutter and drain leaders along the east end of the building are missing, and portions of the gutters along the north end are damaged. Provide new gutter and drain leaders and connect to the building's stormwater management system.	1	LS	\$8,000.00			\$8,000										\$8,000	Priority 2 - Potentially Critical.
12	Building Integrity: Roof consists of a hip roof configuration covered with asphalt shingles, reportedly installed in 2003. The roof appears to be in fair condition, with localized areas of organic growth and staining, and reportedly areas of water intrusion. Remove and replace asphalt shingle roof when it reaches the end of its useful life. Inspect and repair or replace as needed any areas of damaged underlayment.	13,500	SF	\$12.00	30	28		\$162,000									\$162,000	Priority 3 - Necessary - Not Yet Critical.
13	Energy: Portions of the sloped roof could be considered for the addition of photovoltaic (PV) solar panels. Engage the services of a registered Structural Engineer to perform an analysis to determine if the structure can support the added loads of a PV system as well as a qualified party to perform a feasibility study, including a solar analysis. Based on the results of a preliminary structural and solar analysis, consideration could be given to the addition of PV panels on the roof. The results of the analysis will determine the system's limitations and requirements. PV solar panels can provide the building with a renewable, clean source of energy.	1	LS	\$10,000.00			\$10,000										\$10,000	Priority 4 - Recommended
14	Energy: Advisory - Based on the results of the feasibility study, install PV system. The cost could be in the order of \$15 to \$25 per square foot. Potential savings could be anticipated if rebate programs and/or incentives are available and if the project is considered at a portfolio level. The scope of work may include the installation of solar panels, wiring, inverters, electrical panels, and monitoring systems. PV installation should be coordinated with the roof replacement program.	5,000	EA	\$25.00				\$0									\$0	Priority 4 - Recommended.
15	Ⓟ Building Integrity: Façade consist of brick masonry unit walls with control joint sealant. Sealant appears to be in poor condition and is nearing the end of its useful life. Replace all exterior wall joint sealant. Budget includes façade access.	300	LF	\$15.00	15	14	\$4,500										\$4,500	Priority 3 - Necessary - Not Yet Critical.
16	Ⓟ Building Integrity: The building enclosure along the north façade includes an EIFS (exterior insulation finishing system). Localized areas of the EIFS are damaged. Patch and repair damaged areas. Budget includes providing resilient corner guards and façade access.	150	SF	\$30.00			\$4,500										\$4,500	Priority 3 - Necessary - Not Yet Critical.
17	Ⓟ Building Integrity: Doors around the perimeter consist of hollow metal door frames set in metal frames. The surfaces and finishes along the doors are in poor condition. Perform a door refurbishment program consisting on replacing damaged weather stripping components prepare for painting and painting metal door surfaces and frames.	1	LS	\$5,000.00			\$5,000										\$5,000	Priority 3 - Necessary - Not Yet Critical.
18	Ⓟ Building Integrity: The building included nine sectional overhead doors. The doors appear to be in fair to poor condition with signs of repaired sections and corrosion along the metal rails and other metal components. No information was provided regarding the age of the doors and appear to be original to the construction of the building. Perform a phased replacement of all doors.	9	EA	\$10,000.00					\$30,000			\$30,000			\$30,000		\$90,000	Priority 3 - Necessary - Not Yet Critical.
19	Ⓟ Building Integrity: Soffit and trim along the perimeter of the room is in fair condition, with localized areas of sagging and detached panels. Repair or replace damaged panels throughout. Repair and replacement represents approximately 20% of all trim and soffit surfaces around the perimeter of the building. Budget includes façade access equipment	250	SF	\$24.00			\$6,000										\$6,000	Priority 3 - Necessary - Not Yet Critical.
20	A budget is provided for general contractor overhead, profit, general conditions associated to the envelope and exterior.	1	LS	\$49,000.00			\$6,000	\$25,000	\$6,000			\$6,000			\$6,000		\$49,000	

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
21	A budget is provided for architectural/engineering fees associated to the envelope and exterior.	1	LS	\$31,000.00			\$4,000	\$15,000	\$4,000			\$4,000			\$4,000		\$31,000	
22	A budget is provided for design and construction contingencies associated to the envelope and exterior.	1	EA	\$18,000.00			\$2,000	\$10,000	\$2,000			\$2,000			\$2,000		\$18,000	
<b>INTERIOR IMPROVEMENTS</b>																		
23	Appearance: Interior finishes were observed to generally be in fair condition, given it use. The age of the finishes is unknown. A phased replacement of interior improvements is recommended as conditions warrant due to wear and tear with age. The budget assumes approximately 20% of the total square feet. Interior finishes predominantly consist of painted gypsum boards and masonry walls, suspended ceilings with acoustic tiles, and vinyl or painted concrete floors.	1,000	EA	\$100.00	0	0							\$25,000	\$25,000	\$25,000	\$25,000	\$100,000	Priority 3 - Potentially Critical.
24	Appearance: Currently, a men and women's locker/restroom are provided. The age of the interior finishes and fixtures are unknown, however appear to be in serviceable condition. Additionally, several non-complaint items were noted and includes door threshold exceeds the allowable height, non-compliant signage, an accessible men's toilet stall is not provided, and non-complaint showers. Per town staff, consideration has been given to renovating and modifying the existing restrooms to meet ADA compliance. This appears to be feasible, the scope of work may include new finishes and fixtures and modifying the restrooms to meet ADA compliance. A preliminary budget has been included in the term for consideration. Final budget is based on owner selected level of finishes.	1	LS	\$40,000.00	0	0	\$40,000										\$40,000	Priority 3 - Potentially Critical
25	A budget is provided for general contractor overhead, profit, and general conditions associated to the interior repairs.	1	EA	\$24,000.00									\$6,000	\$6,000	\$6,000	\$6,000	\$24,000	
26	A budget is provided for design and construction contingencies associated to the interior repairs.	1	LS	\$10,000.00									\$2,500	\$2,500	\$2,500	\$2,500	\$10,000	
27	A budget is provided for architectural/engineering fees associated to the interior repairs.	1	LS	\$14,000.00									\$3,500	\$3,500	\$3,500	\$3,500	\$14,000	
<b>MECHANICAL/ELECTRICAL/PLUMBING</b>																		
28	Building Integrity: An air-cooled, ducted split systems provide cooling to the building. The unit is located on the exterior of the building. The system consists of a condensing unit and a fan coil unit. The system has a capacity of 2.5 tons and distributes air through overhead ductwork. Replace the system when it reaches the end of its service life or as maintenance costs dictate. The system currently utilizes refrigerant R-22. It is recommended to replace the system with a new system using R-410A. The budget includes a replacement in kind of the units with the reuse of ductwork. The unit was installed in 2004 and was manufactured by Carrier.	3	TON	\$5,000.00	15	14	\$15,000										\$15,000	Priority 3 - Necessary - Not Yet Critical
29	Building Integrity: Three oil fired furnaces provide heating to the building. The furnaces are located throughout the building, and have capacities ranging from 156,000 to 350,000 British Thermal Units (BTU) per hour. The furnaces were installed between 2005 and 2017 and reportedly function properly and appear to be in good condition. Replacement of the two older furnaces is recommended as they reach the end of their service life or as maintenance costs dictate. The budget includes a replacement in kind of the furnaces with the reuse of all associated piping. The furnaces were manufactured by Thermo Pride, Concord, and Allied Air.	2	EA	\$12,000.00	18	17	\$24,000										\$24,000	Priority 3 - Necessary - Not Yet Critical
30	Building Integrity: The building has a 50-gallon electric water heater located in the mechanical room of the building. Replace the water heater when it reaches the end of its service life or as maintenance costs dictate. The budget includes a replacement in kind with the reuse of all associated piping and electrical wiring. The water heater was manufactured by Bradford White.	1	EA	\$3,000.00	10	3							\$3,000				\$3,000	Priority 3 - Necessary - Not Yet Critical
31	Building Integrity: Eversource provides electrical service to the building. The building does not have any history of infrared scans being performed. It is recommended to engage a qualified contractor to perform a preliminary infrared scan of the primary electrical distribution equipment to identify potential electrical system issues. Infrared scans are recommended to become part of the building's annual preventative maintenance in order to detect electrical issues.	1	EA	\$3,000.00	3	2	\$3,000										\$3,000	Priority 4 - Recommended

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
32	Life Safety Code Compliance: During our on-site review, the team was shown a storage room containing flammable materials that was not provided with a fire protection system. Engage an engineering firm to review all of the materials stored in the rooms and determine the proper commodity class and hazard level, necessary fire protection system upgrades, and prepare design drawings for competitive bidding in the event it is determined a fire protection system is required.	1	LS	\$25,000.00	1	0	\$25,000										\$25,000	Priority 2 - Potentially Critical
33	Life Safety Code Compliance: The scope and budget required to provide ventilation of the storage room will be based on the determination of the commodity class and hazard level, and engineering design and specifications referenced in the preceding line. The scope could include the installation of a louver and an exhaust fan, as well as modifying the exterior wall.	1	LS	\$25,000.00	1	0	\$25,000										\$25,000	Priority 2 - Potentially Critical
34	Life Safety Code Compliance - Advisory: Based on the results of the engineering review in the line above, perform the recommended work. The scope of this work may include installing a sprinkler system in the building, a new fire sprinkler incoming service, backflow prevention device, sprinkler heads, and piping. The work associated with installing the new incoming service could be accomplished when the parking lot is planned to be paved to avoid having to pave the area multiple times. The scope could include providing sprinkler coverage to the entire building. The total cost of this work could be on an order of magnitude of \$150,000.	1	LS	\$0.00			\$0										\$0	Priority 2 - Potentially Critical
<b>ACCESSIBILITY</b>																		
35	ADA: The facility does not offer public programs, activities, or services; therefore, it is not covered by the ADA.	1	LS	\$0.00	0	0	\$0										\$0	Priority 5 - Does not meet current codes/standards.
36	ADA: See the Town Hall cost table for the recommendation on the Transition Plan.	0	EA	\$0.00	0	0	\$0										\$0	Priority 4 - Recommended

Total (Uninflated)							\$450,000	\$212,000	\$42,000	\$0	\$0	\$139,000	\$40,000	\$37,000	\$79,000	\$37,000	\$1,036,000	
Inflation Factor (4.0%)							1.0	1.04	1.082	1.125	1.17	1.217	1.265	1.316	1.369	1.423		
Total (inflated)							\$450,000	\$220,480	\$45,427	\$0	\$0	\$169,115	\$50,613	\$48,689	\$108,117	\$52,663	\$1,145,104	

Evaluation Period:	10
# of Square Feet:	11,691
Reserve per Square Feet per year (Uninflated)	\$9
Reserve per Square Feet per year (Inflated)	\$10

## 2.0 EXHIBITS

DRAFT

# **FLOOD PLAIN DETERMINATION REPORT**

DRAFT

# MARX/OKUBO & ASSOCIATES - NORTHEAST : Insurance Report

## DataVerify Flood Services

### *Determination Report*

**DATE: 11/16/23**

**Account Number: INS 97900589**

**MARX/OKUBO &  
ASSOCIATES - NORTHEAST**

Owner Name: 23-2104

Certified Street Address: 238 DANBURY RD, WILTON, CT 06897-4008

Requester: Sarah Helmrich Phone#: 914-269-5700 Fax#: 914-269-5720

Policy Number: 231116154345073

Community Name: WILTON, TOWN OF

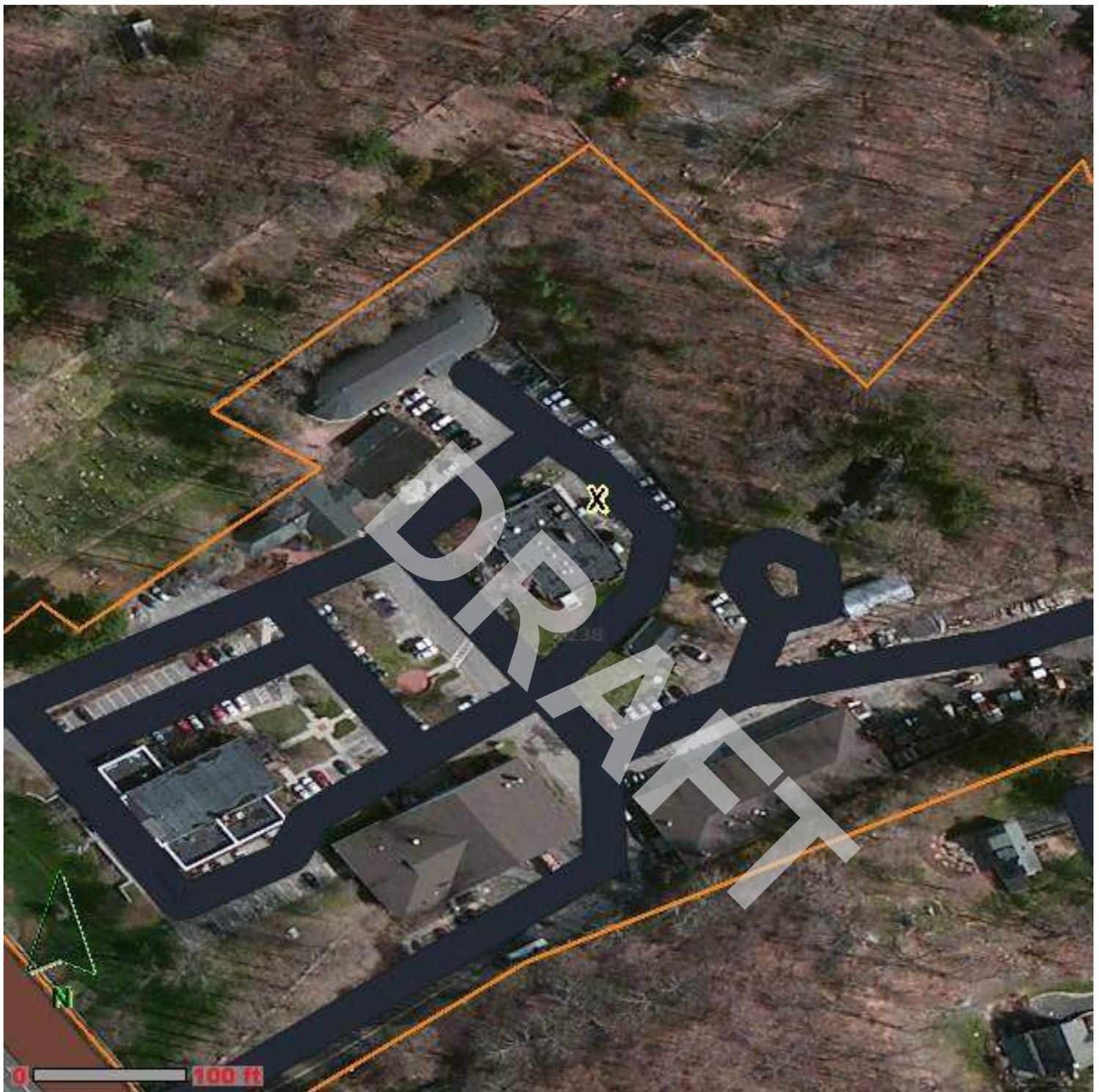
Community Status: Regular Program Type: Participating

Det ID: 345453337 Map Panel #: 09001C0383 F Community #: 090020 Panel Date: 06/18/10 Entry Date: 11/17/82

Det Date: 11/16/23 Flood Zone: X BFE: 263 (Vertical Datum:NAVD88) LOMA/LOMR  DATE:

**Areas of minimal flooding. Areas determined to be outside 500 year flood plain.**

**This flood determination is provided to the lender pursuant to the flood disaster protection act and for no other purpose. It does not create any private cause of action on behalf of the Policy Holder against DataVerify Flood Services.**



<b>Flood Zones Legend</b>	 A Values	 X500 /SHX / B	 X / C
	 D / NMA	 V Values	 Street

**Determination Id :** 345453337  
**Certified Address :** 238 DANBURY RD, WILTON, CT 06897-4008  
**Flood Zone :** X  
**Base Flood Elevat :** N/A  
**FEMA Map Panel Number :** 09001C0383 F  
**FEMA Map Panel Eff. Date :** 06/18/10  
**Coast CBRA Date :**  
**LOMA LOMR Date :**  
**Distance To 100/500 :**  
**Flood Zone**

DISCLAIMER: THIS MAP IMAGE IS PROVIDED AS A VISUAL AID WITHOUT ANY WARRANTIES OR GUARANTEES; IT DOES NOT CREATE ANY PRIVATE CAUSE OF ACTION ON BEHALF OF THE BORROWERS OR INSURED PROPERTY OWNERS AGAINST THE FLOOD DETERMINATION PROVIDER. DISTANCE TO 100/500 YEAR FLOOD AREA IS AN APPROXIMATION CALCULATED FROM GEOCODING TECHNOLOGY AND IS NON-GUARANTEED.

# PHOTOGRAPHS

DRAFT



1 - Overview of the garage building.



2 - Debris from the adjacent vegetation has clogged the catch basin.



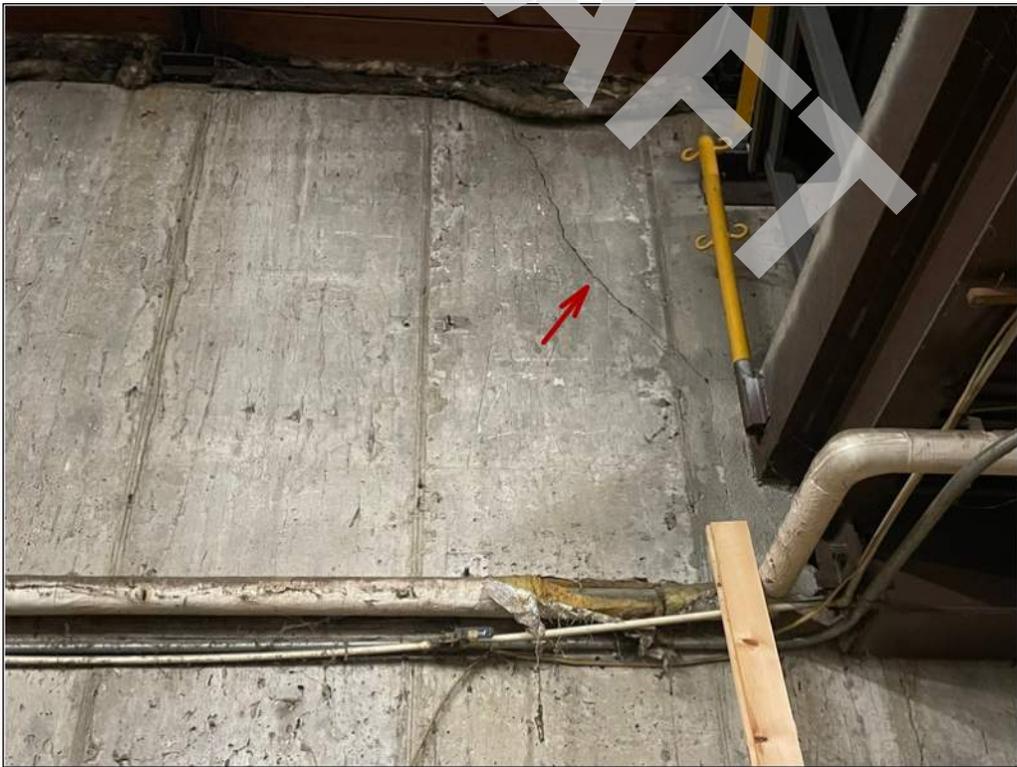
3 - Spalled concrete was observed at the concrete aprons and corrosion was noted as several bollards.



4 - Walkways exhibit concrete spalling and deterioration.



5 - Steel column surfaces have corroded.



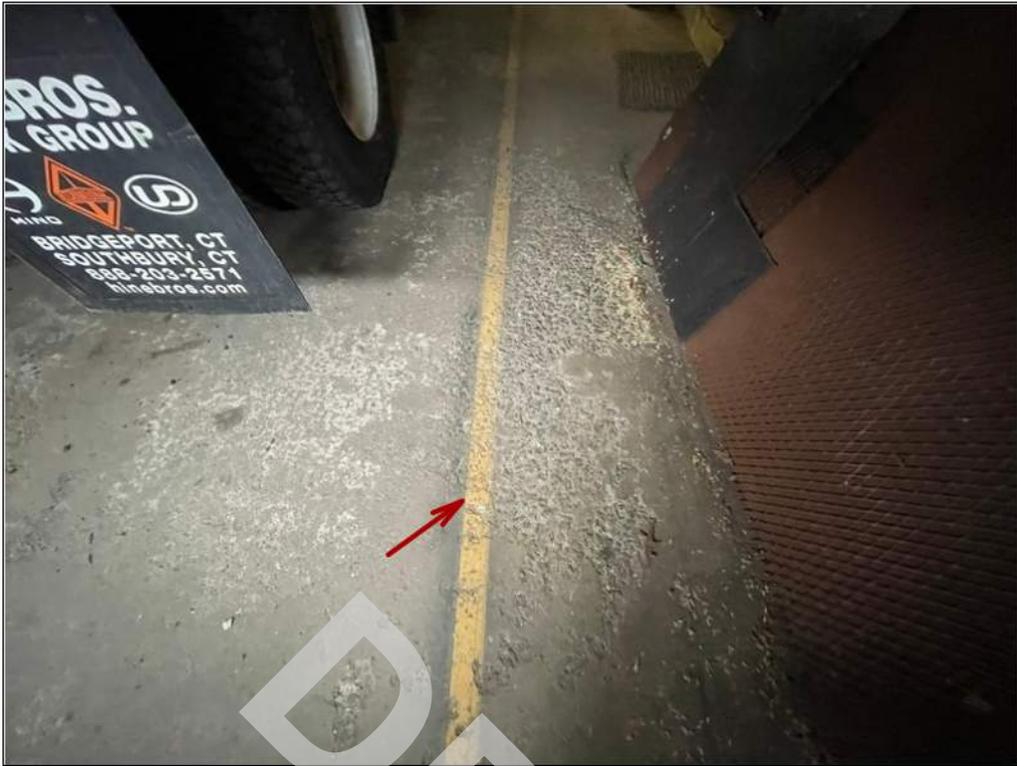
6 - Localized areas of the reinforced concrete wall have cracked.



7 - Overview of the east side garage bays.



8 - Localized spalling and cracking has occurred along the concrete slab-on-grade.



9 - Spalled areas along the slab surface.



10 - Roof gutter is missing and fascia has damages along the east facade. Roof deficiencies include organic growth and stained asphalt shingles.



11 - Close up view of missing roof gutter along the east end of the building.



12 - A roof leader is missing along the south side of the building.



13 - The joint sealant between the brick masonry unit and concrete wall has failed.



14 - Brick masonry unit wall control joint sealant is in poor condition. Soffit and fascia panels are aging.



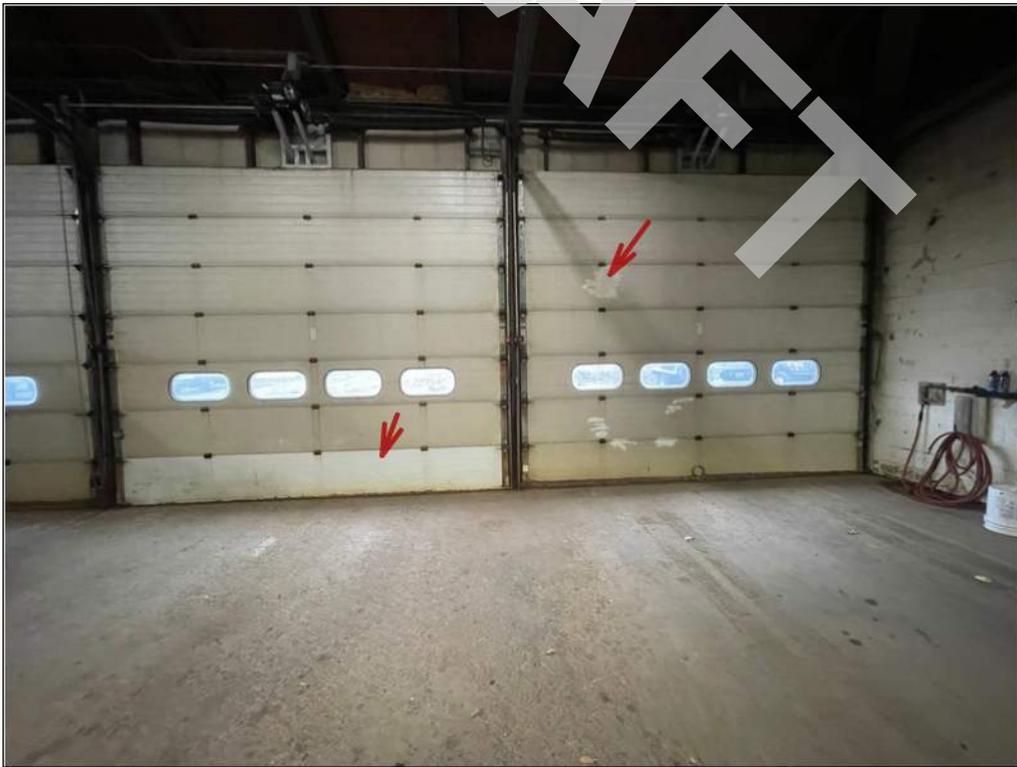
15 - Areas of the EIFS (exterior insulation finishing system) have been damaged.



16 - Hollow metal frames and door surfaces are starting to corrode.



17 - Sectional overhead doors are provided at the garage.



18 - Sections of the overhead doors have been replaced and repaired.



19 - Sectional overhead door metal components have corroded.



20 - Soffit and fascias are displacing.



21 - A split system air conditioning unit located on the exterior of the building provides cooling to a portion of the building.



22 - Three oil fired furnaces located throughout the building provide heating throughout the building.



23 - An electric storage-type water heater is located in the mechanical room and provides hot water throughout the building.



24 - Combustible liquids are stored in containers in a storage room.



25 - The building is provided with a combination fire alarm/security alarm panel.

## FACILITY CONDITION ASSESSMENT

# FIRE STATION NO. 2

707 Ridgefield Road  
Wilton, Connecticut



Prepared for:

**Town of Wilton**  
238 Danbury Road  
Wilton, Connecticut 06897  
Attention: Mr. Jeff Pardo  
jeff.pardo@wiltonct.org

Marx|Okubo Job No. 23-2104

February 2, 2024

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## 1.0 DEFICIENCIES AND RECOMMENDATIONS

Recommendations for remedial work addressing significant building deficiencies are included in this section. Recommendations are divided into *Immediate Work Items* and *Capital Work Items*.

The cost threshold for this project is \$3,000. Items that do not meet this threshold are excluded from our recommendations.

**Immediate Work Items:** Include items that correct safety and life-threatening building and/or fire code violations; items that, if left unrepaired over the next year, would result in serious damage to the building or its contents; and elements not compliant with federal accessibility regulations. These items should be undertaken on a priority basis taking precedence over routine preventive maintenance work.

**Capital Work Items:** Include items that are customarily repaired or replaced over several years due to economic considerations (e.g. paving, roofs, appliances), items which are currently in acceptable condition but will reach or exceed their useful economic service life during the term, and items that are periodic in nature but not considered normal maintenance (e.g. pavement seal coating, painting). Also included are significant energy-saving or operational improvements. These opinions of cost are generally based on industry-accepted life spans for these systems unless there are mitigating circumstances.

In addition, based on the Request for Qualifications/Proposals requirements, Marx|Okubo Associates, Inc. has assigned Facility Deficiency Priorities and Categories as follows:

Facility Deficiency Priorities:

- Priority 1 - Current Critical (Assigned to the Immediate Work items described above)
- Priority 2 - Potentially Critical
- Priority 3 - Necessary – Not Yet Critical
- Priority 4 - Recommended
- Priority 5 - Does not meet current codes/standards

Facility Deficiency Categories:

- Life Safety Code Compliance
- Building Code Compliance
- Building Integrity
- Appearance
- Energy
- Environmental

### IMMEDIATE REPAIR COST

Prepared By: Marx|Okubo Associates, Inc.

Date Prepared:

February 2, 2024

Building(s) Gross Area (S.F.): 3431

Property Age (Years): 66 Addition in 1994

#	Item	QTY	Unit	Unit Cost	Replacement Percent	Immediate Total	Comments
<b>SITE</b>							
1	Ⓢ Building Integrity: Based on information that M O had access to and site observations, the back of the site is provided with a mound septic system that slopes towards the building, and may direct surface water towards the building's foundation. Grade directly adjacent to the building does not slope away from the building. Regrade area adjacent to the building to divert water away from the building's structure.	400	SF	\$6.00	100%	\$2,400	Priority 1 - Current Critical.
<b>STRUCTURE</b>							
2	Building Integrity - Advisory: Limited information regarding the building was provided for our review. Selected documents indicated certain roof framing deficiencies had been identified at the building's roof framing in the attic. It's unclear if the issues were resolved, and Marx Okubo did not have access to the attic. It is recommended to perform a comprehensive document review to determine if the item in question was resolved. Concurrently, a visual review of the attic is recommended by town personnel to determine if the repairs were completed. Engage the services of a structural engineer to review if the issue was not addressed.	0	EA	\$0.00	0%	\$0	Priority 1 - Current Critical.
<b>ENVELOPE AND EXTERIOR</b>							
3	Ⓢ Building Integrity: Perimeter joint sealant around the window and door openings in the addition is in poor condition. Sealant has crazed and ruptured. Remove and replace all joint sealant at the addition openings.	1	LS	\$2,000.00	100%	\$2,000	Priority 1 - Current Critical.
<b>CODE REVIEW</b>							
4	Life Safety Code: Review exit signage locations and provide where missing.	1	LS	\$3,000.00	100%	\$3,000	Priority 1 - Current Critical.
Total Repair Cost						\$7,400	

### CAPITAL RESERVE SCHEDULE

Prepared By: Marx|Okubo Associates, Inc.  
 Building(s) Gross Area (S.F.): 3431  
 Property Age (Years): 66 Addition in 1994

Date Prepared: February 2, 2024  
 Term: 10  
 Inflation Rate: 4%

Footnotes: <sup>1 2 3 4</sup>

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
<b>STRUCTURE</b>																		
1	Ⓟ Building Integrity: Floor on the apparatus room consists of a cast-in-place reinforced concrete slab on grade. The south bay of the apparatus room slab has deteriorated and includes cracks and spalled areas. In addition, it was reported that the trench drain between the bays is not working properly. Perform localized repairs, including rebuilding the trench drain. Repairs represent approximately 25% of the slab.	400	SF	\$15.00			\$6,000										\$6,000	Priority 3 - Necessary - Not Yet Critical.
<b>ENVELOPE AND EXTERIOR</b>																		
2	Energy: Portions of the sloped roof could be considered for the addition of photovoltaic (PV) solar panels. Engage the services of a registered Structural Engineer to perform an analysis to determine if the structure can support the added loads of a PV system as well as a qualified party to perform a feasibility study, including a solar analysis. Based on the results of a preliminary structural and solar analysis, consideration could be given to the addition of PV panels on the roof. The results of the analysis will determine the system's limitations and requirements. PV solar panels can provide the building with a renewable, clean source of energy.	1	LS	\$10,000.00			\$10,000										\$10,000	Priority 4 - Recommended
3	Energy - Advisory: Based on the results of the feasibility study, install PV system. The cost could be in the order of \$15 to \$25 per square foot. Potential savings could be anticipated if rebate programs and/or incentives are available and if the project is considered at a portfolio level. The scope of work may include the installation of solar panels, wiring, inverters, electrical panels, and monitoring systems.	1,500	SF	\$25.00			\$0										\$0	Priority 4 - Recommended.
4	Building Integrity: The roof atop the original portion of the building consists of asphalt shingles. Based on the information on record about the property, the last roof replacement was performed in 1986. No damages to the roof were noted or reported, but the roof appears to be in fair condition. Replace roof shingles at the original portion of the building. Work to be coordinated with the possible PV system installation.	2,750	SF	\$10.00	30	28		\$27,500									\$27,500	Priority 3 - Necessary - Not Yet Critical.
5	Ⓟ Building Integrity: The building facades consist of EIFS (Exterior Insulation and Finish System). Localized areas of the EIFS have cracked, detached and have openings. Patch and repair areas.	250	SF	\$15.00			\$3,750										\$3,750	Priority 2 - Potentially Critical.
6	Ⓟ Appearance: Façade surfaces have areas of organic growth and discoloration. Power wash all exterior wall surfaces, prepare for painting, and paint throughout.	2,000	SF	\$10.00	10	8		\$20,000									\$20,000	Priority 4 - Recommended.

1. Opinions of cost are based on limited observations of readily observable conditions and available documentation. Determination of actual costs require competitive bidding by qualified contractors on a scope of work that may require development of repair documents by a qualified engineer or architect.  
 2. Marx|Okubo is not an environmental consultant or evaluator of pest infestation. Opinions of cost exclude abatement of hazardous materials or remediation of pest infestations unless otherwise noted.  
 3. This cost table is a supplementary document to the report and should be reviewed in conjunction with the full report and exhibits.  
 4. Marx|Okubo's standard inflation rate for the purposes of the Capital Reserve Schedule is 3%. At the request of the Town of Wilton, the rate has been adjusted to 4%.

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
7	<b>P</b> Building Integrity: Localized areas along the building soffit and door opening have missing, damaged, and peeling finishes. Perform a trim refurbishment program to include repairing or replacing damaged or missing sections, prepare surfaces for painting and paint throughout.	200	LF	\$25.00			\$5,000										\$5,000	Building Integrity: Damaged and missing soffit trim.
8	<b>P</b> Building Integrity: Egress along the west side of the building is through a concrete pad and steps with a metal pipe handrail. The metal handrail surfaces are corroded and the handrail does not extend beyond the last thread. Remove corrosion, extend the handrail, prepare for painting, and paint.	1	LS	\$5,000.00			\$5,000										\$5,000	Priority 3 - Necessary - Not Yet Critical.
<b>INTERIOR IMPROVEMENTS</b>																		
9	Appearance: Interior finishes were observed to generally be in good condition. The age of the finishes is unknown. A phased replacement of interior improvements is recommended as conditions warrant due to wear and tear with age. The budget assumes approximately 20% of the total square feet. Interior finishes predominantly consist of painted gypsum ceiling and wall boards and carpet or tile floors.	600	SF	\$100.00							\$20,000	\$20,000	\$20,000				\$60,000	Priority 3 - Potentially Critical.
<b>MECHANICAL/ELECTRICAL/PLUMBING</b>																		
10	Building Integrity: The building has a 199,000 Btu/h input propane fired water heater located in the mechanical room of the building. Replace the water heater when it reaches the end of its service life or as maintenance costs dictate. The budget includes a replacement in kind with the reuse of all associated piping and electrical wiring. The water heater was manufactured by State Industries.	1	EA	\$5,000.00	10	4						\$5,000					\$5,000	Priority 3 - Necessary - Not Yet Critical
11	Building Integrity: Domestic water is currently stored in two above ground storage tanks; it was reported that the private on-site well had failed and a replacement well was dug on an adjacent property which is no longer permitted to be used. Perform engineering analysis to determine the feasibility of providing a well on the property or connecting to a municipal water line. The scope of review could include environmental testing, review of existing conditions, and providing recommendations for repair scope.	1	EA	\$30,000.00			\$30,000										\$30,000	Priority 4 - Recommended
12	Building Integrity - Advisory: Two water storage tanks currently provide the building with domestic water. It is recommended to remove these tanks and provide the building with an automatic means of water. The scope of work could include drilling a well, installing a well pump, trenching, running a new incoming water service, and connecting to existing domestic water piping in the building. Work of this magnitude would require engineering drawings and a budget could be in the range of \$50,000.	1	EA	\$0.00			\$0										\$0	Priority 4 - Recommended
13	Building Integrity: As part of the trench drain reconstruction, provide new piping and grating for the trench drain as needed. Coordinate work with the trench drain and slab repair program.	1	LS	\$5,000.00			\$5,000										\$5,000	Priority 2 - Potentially Critical.
14	Building Integrity: The oil separator in the building is reportedly abandoned. Local jurisdiction may require rehabilitating or reinstalling an oil separator. The scope of this work could include excavating and removing the existing oil separator, installing a new oil separator, rerouting underground piping, and backfilling the installation area.	1	EA	\$350,000.00			\$350,000										\$350,000	Priority 4 - Recommended
15	Building Integrity: Eversource provides electrical service to the building. The building does not have any history of infrared scans being performed. It is recommended to engage a qualified contractor to perform a preliminary infrared scan of the primary electrical distribution equipment to identify potential electrical system issues. Infrared scans are recommended to become part of the building's annual preventative maintenance in order to detect electrical issues.	1	EA	\$3,000.00	3	2	\$3,000										\$3,000	Priority 4 - Recommended

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
<b>ACCESSIBILITY</b>																		
16	ADA: The facility does not offer public programs, activities, or services; therefore, it is not covered by the ADA.	0	EA	\$0.00		66	\$0										\$0	Priority 5 - Does not meet current codes/standards.
17	ADA: See the Town Hall cost table for the recommendation on the Transition Plan.	0	EA	\$0.00	0	0	\$0										\$0	Priority 4 - Recommended

Total (Uninflated)							\$417,750	\$47,500	\$0	\$0	\$20,000	\$25,000	\$20,000	\$0	\$0	\$0	\$530,250	
Inflation Factor (4.0%)							1.0	1.04	1.082	1.125	1.17	1.217	1.265	1.316	1.369	1.423		
Total (inflated)							\$417,750	\$49,400	\$0	\$0	\$23,397	\$30,416	\$25,306	\$0	\$0	\$0	\$546,270	

Evaluation Period:	10
# of Square Feet:	3,431
Reserve per Square Feet per year (Uninflated)	\$15
Reserve per Square Feet per year (Inflated)	\$16

## 2.0 EXHIBITS

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# **FLOOD PLAIN DETERMINATION REPORT**

DRAFT

# MARX/OKUBO & ASSOCIATES - NORTHEAST : Insurance Report

## DataVerify Flood Services

### *Determination Report*

**DATE: 11/16/23**

**Account Number: INS 97900589**

**MARX/OKUBO &  
ASSOCIATES - NORTHEAST**

Owner Name: 23-2104

Certified Street Address: 707 RIDGEFIELD RD, WILTON, CT 06897

Requester: marxh5 Phone#: 914-269-5700 Fax#: 914-269-5720

Policy Number: 231116154532794

Community Name: WILTON, TOWN OF

Community Status: Regular Program Type: Participating

Det ID: 533353122 Map Panel #: 09001C0376 F Community #: 090020 Panel Date: 06/18/10 Entry Date: 11/17/82

Det Date: 11/16/23 Flood Zone: X BFE: (Vertical Datum: ) LOMA/LOMR  DATE:

**Areas of minimal flooding. Areas determined to be outside 500 year flood plain.**

**This flood determination is provided to the lender pursuant to the flood disaster protection act and for no other purpose. It does not create any private cause of action on behalf of the Policy Holder against DataVerify Flood Services.**



<b>Flood Zones Legend</b>	A Values	X500 /SHX / B	X / C
	D / NMA	V Values	Street

**Determination Id :** 533353122  
**Certified Address :** 707 RIDGEFIELD RD,  
 WILTON, CT 06897  
**Flood Zone :** X  
**Base Flood Elevat :** N/A  
**FEMA Map Panel Number :** 09001C0376 F  
**FEMA Map Panel Eff. Date :** 06/18/10  
**Coast CBRA Date :**  
**LOMA LOMR Date :**  
**Distance To 100/500 :** 1060.0 ft to X500  
**Flood Zone**

DISCLAIMER: THIS MAP IMAGE IS PROVIDED AS A VISUAL AID WITHOUT ANY WARRANTIES OR GUARANTEES; IT DOES NOT CREATE ANY PRIVATE CAUSE OF ACTION ON BEHALF OF THE BORROWERS OR INSURED PROPERTY OWNERS AGAINST THE FLOOD DETERMINATION PROVIDER. DISTANCE TO 100/500 YEAR FLOOD AREA IS AN APPROXIMATION CALCULATED FROM GEOCODING TECHNOLOGY AND IS NON-GUARANTEED.

# PHOTOGRAPHS

DRAFT



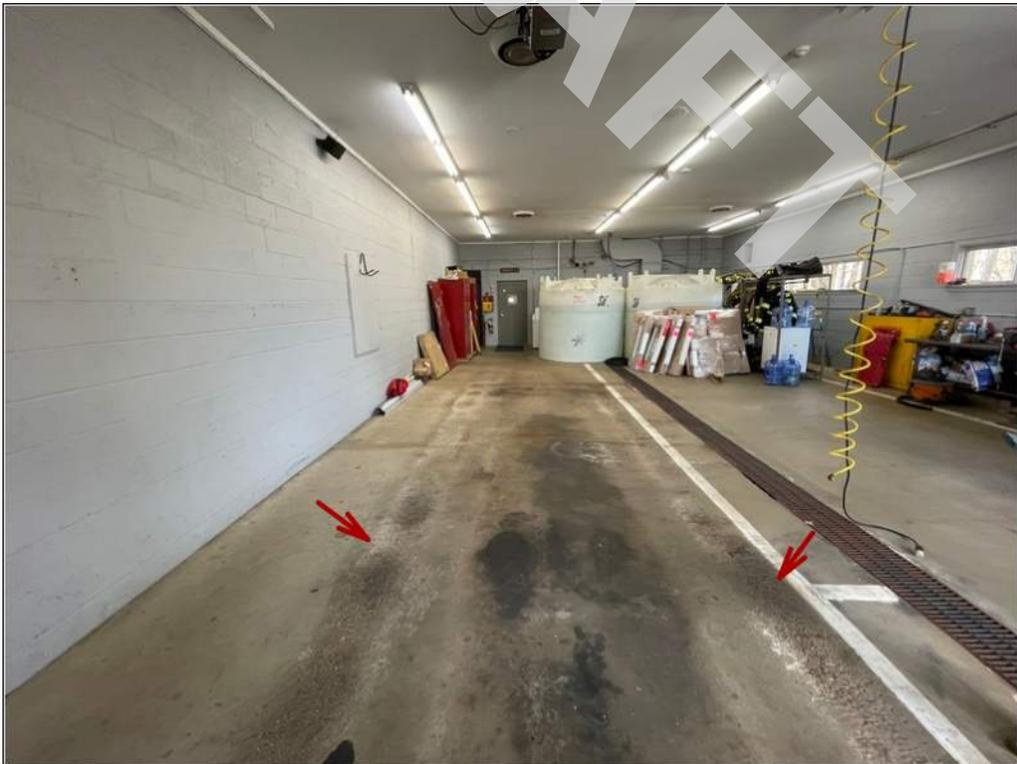
1 - Fire Station No. 2 front entrance.



2 - The asphalt paved parking area was observed to generally be in good condition.



3 - Mound septic system is sloping towards the building's structure.



4 - Areas of the slab on the southern apparatus bay have spalled.



5 - Areas of the slab on the southern apparatus bay have cracked.



6 - Exterior walls consist of painted EIFS (exterior insulation finishing system). Windows consist of wood framed assemblies and the roof is covered with asphalt shingles.



7 - Localized areas of the EIFS have cracked.



8 - Localized areas of the EIFS have eroded.



9 - Areas of the EIFS and doors have organic growth.



10 - Window perimeter joint sealant has failed. Surface is crazed and ruptured.



11 - Trim portions along the apparatus room door have broken.



12 - Trim sections along the soffit are missing.



13 - Metal pipe handrail along the steps located at the west façade has corroded and does not extend beyond the last tread.



14 - Interior common space finishes consist of painted gypsum ceiling and wall boards and carpet floors. Exit signage directing occupants to the egress door along the west side of the building is not provided.



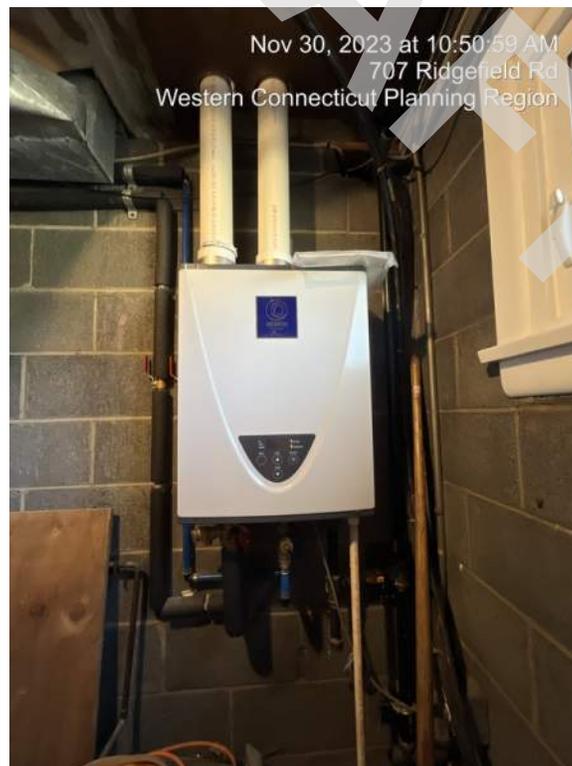
15 - Restrooms finishes consist of painted gypsum wall and ceilings boards and tile floors. The shower is fully tiled.



16 - A split system air conditioning unit located on the exterior of the building provides cooling.



17 - Two propane fired furnaces located in the mechanical room provide heating to the building.



18 - A propane fired tankless water heater is located in the mechanical room and provides hot water throughout the building.



19 - Two water storage tanks located in the garage currently provide the building with domestic water.



20 - A propane-fired emergency generator provides emergency power to the building.

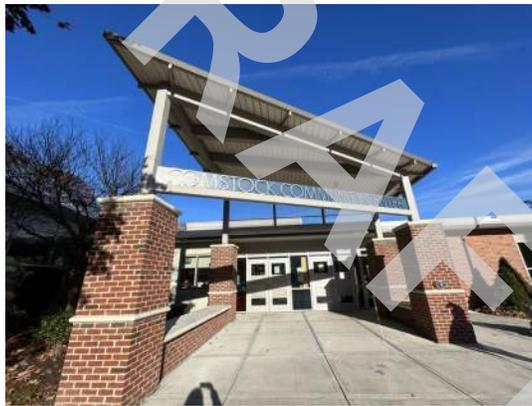


21 - The building is provided with a Fire-Lite MS-10UD fire alarm panel.

FACILITY CONDITION ASSESSMENT

COMSTOCK COMMUNITY CENTER

180 School Road  
Wilton, Connecticut



Prepared for:

**Town of Wilton**  
238 Danbury Road  
Wilton, Connecticut 06897  
Attention: Mr. Jeff Pardo  
jeff.pardo@wiltonct.org

Marx|Okubo Job No. 23-2104

February 2, 2024

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## 1.0 DEFICIENCIES AND RECOMMENDATIONS

Recommendations for remedial work addressing significant building deficiencies are included in this section. Recommendations are divided into *Immediate Work Items* and *Capital Work Items*.

The cost threshold for this project is \$3,000. Items that do not meet this threshold are excluded from our recommendations.

***Immediate Work Items:*** Include items that correct safety and life-threatening building and/or fire code violations; items that, if left unrepaired over the next year, would result in serious damage to the building or its contents; and elements not compliant with federal accessibility regulations. These items should be undertaken on a priority basis taking precedence over routine preventive maintenance work.

***Capital Work Items:*** Include items that are customarily repaired or replaced over several years due to economic considerations (e.g. paving, roofs, appliances), items which are currently in acceptable condition but will reach or exceed their useful economic service life during the term, and items that are periodic in nature but not considered normal maintenance (e.g. pavement seal coating, painting). Also included are significant energy-saving or operational improvements. These opinions of cost are generally based on industry-accepted life spans for these systems unless there are mitigating circumstances.

In addition, based on the Request for Qualifications/Proposals requirements, Marx|Okubo Associates, Inc. has assigned Facility Deficiency Priorities and Categories as follows:

Facility Deficiency Priorities:

- Priority 1 - Current Critical (Assigned to the Immediate Work items described above)
- Priority 2 - Potentially Critical
- Priority 3 - Necessary – Not Yet Critical
- Priority 4 - Recommended
- Priority 5 - Does not meet current codes/standards

Facility Deficiency Categories:

- Life Safety Code Compliance
- Building Code Compliance
- Building Integrity
- Appearance
- Energy
- Environmental

**IMMEDIATE REPAIR COST**

Prepare4d By: Marx|Okubo Associates, Inc.  
 Building(s) Gross Area (S.F.): 39,437  
 Property Age (Years): 69

Date Prepared: February 2, 2024

Renovated in 1995 and 2014

#	Item	QTY	Unit	Unit Cost	Replacement Percent	Immediate Total	Comments
<b>MECHANICAL/ELECTRICAL/PLUMBING</b>							
1	Life Safety Code Compliance: Battery powered emergency lighting is provided throughout the building. Each light observed was tested to confirm it was functional. Two of the emergency lights in the greenhouse did not turn on when tested. Replace the non-functioning lights with new. It is recommended to regularly test all emergency lights. This may be considered part of regular maintenance and repair.	2	EA	\$1,000.00	100%	\$2,000	Priority 1 - Current Critical
<b>CODE REVIEW</b>							
2	Life Safety Code Compliance: Based on the Wilton Fire Marshal report provided to Marx Okubo, the egress door from the Greenhouse does not comply with the greater than 15 lbs, per CT IFC 2021, section 1010.1.3. Repair door to meet the 15 lbs maximum opening force. Repair scope may include adjusting or replacing the door closer, panic bar, or any other door component that may be contributing to the issue. This may be considered part of regular maintenance and repair.	1	LS	\$500.00	100%	\$500	Priority 1 - Current Critical.
<b>ACCESSIBILITY</b>							
3	ADA: Currently a firm walking surface from the parking area to the baseball field, soccer field, and playground located in between these two fields are not provided. Provide access paths to facilitate an accessible route to all activities provided.	3	EA	\$5,000.00	100%	\$15,000	Priority 1 - Current Critical.
4	ADA: An accessible route to the basketball courts and playground from the adjacent parking lot is non compliant as the ramp exceeds the allowable slope. Provide an access path to facilitate an accessible route to the courts. Work could include regrading the ramp and installing handrails on both sides.	1	LS	\$20,000.00	100%	\$20,000	Priority 1 - Current Critical.
5	ADA: Accessible parking spaces were not observed at the parking lot adjacent to the the basketball courts. Marx Okubo could not confirm the total number of parking spaces due to faded to striping. If a range of 26-50 parking spaces are provided, per ADA standards, a minimum of two accessible parking spaces are required, including one van-accessible parking spaces. Parking spaces should be provided with complaint signage.	2	EA	\$700.00	100%	\$1,400	Priority 1 - Current Critical.
6	ADA: The Senior Center Café was noted to have various non-compliant items. Items include insufficient accessible seating, inadequate clear floor space at the sink and to the patio, and the door threshold to the patio exceeds the allowable maximum. Alter to meet compliance.	1	LS	\$5,000.00	100%	\$5,000	Priority 1- Current Critical.
7	ADA: At the Senior Center Game Room, the pool table and seating tables do not provide knee and toe clearance. Provide a compliant pool table and seating tables. At least 5% of seating spaces are required to comply with an accessible route to the tables.	1	LS	\$5,000.00	100%	\$5,000	Priority 1- Current Critical.

#	Item	QTY	Unit	Unit Cost	Replacement Percent	Immediate Total	Comments
8	At the Senior Center Crafts & Arts Studio Game Room, the seating tables do not provide knee and toe clearance. Provide a compliant seating tables. At least 5% of seating spaces are required to comply with an accessible route to the tables.	1	EA	\$1,000.00	100%	\$1,000	Priority 1- Current Critical.
9	At the single user restrooms labeled as restroom 11, 36, and 38, the center of the toilet is not mounted within the acceptable range from the side wall. Remount the toilets to the acceptable range to meet compliance.	3	EA	\$2,000.00	100%	\$6,000	Priority 1- Current Critical.
10	ADA: The snack vending machine provided is not complaint as the operable parts are above the reach range. Replace with a compliant vending machine.	1	EA	\$2,500.00	100%	\$2,500	Priority 1 - Current Critical.
11	ADA: A lowered section of the counter is not provided at the Parks & Recreation Department 2 office. Provide a lowered counter area not exceeding 36" maximum from the finish floor.	1	EA	\$5,000.00	100%	\$5,000	Priority 1 - Current Critical.
12	ADA: The women's multi user restroom was noted to have various non-compliant accessibility items. Items include the minimum required clearance measured from the transfer shower control wall and scald guard protection under the sinks are not provided. Alter the restroom to meet compliance. Budget includes the men's multi-user restroom.	2	EA	\$5,000.00	100%	\$10,000	Priority 1 - Current Critical.
Total Repair Cost						\$73,400	

### CAPITAL RESERVE SCHEDULE

Prepared By: Marx|Okubo Associates, Inc.  
 Building(s) Gross Area (S.F.): 39,437  
 Property Age (Years): 69 Renovated in 1995 and 2014

Date Prepared: February 2, 2024  
 Term: 10  
 Inflation Rate: 4%

Footnotes: <sup>1 2 3 4</sup>

Advisory Items are not included in the 10-year capital reserve schedule.

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
<b>SITE</b>																		
1	Appearance: A continuous asphalt paved parking area is provided at the front and side of the facility. It was reported the front was redone in 2016 and was observed to generally be in good condition. The age of the side paving is unknown and was noted to exhibit varying levels of deterioration. A budget is recommended to mill, resurface, and restripe the side asphalt paved area early in the term. Levels of deterioration include alligator and longitudinal cracking and faded striping throughout.	24,000	LS	\$6.00	10	9	\$144,000										\$144,000	Priority 4 - Recommended
2	Appearance: Repair local subgrade deterioration at asphalt pavement as identified during milling and repaving work at the side parking, as noted in the line item above. The budget includes 10% of the paved asphalt areas.	2,400	SF	\$10.00	0	0	\$24,000										\$24,000	Priority 4 - Recommended
3	Appearance: Two additional asphalt paved parking areas are provided on the west side of the property. The age of the paving areas is unknown and was noted to exhibit varying levels of deterioration. Phased milling, resurfacing, and restriping of the paved parking areas is recommended early in the term. Budget includes removing damaged concrete curbs and repouring. Levels of deterioration include alligator and longitudinal cracking and faded striping throughout.	22,000	LS	\$6.00	10	9	\$66,000	\$66,000									\$132,000	Priority 4 - Recommended.
4	Appearance: Repair local subgrade deterioration at asphalt pavement as identified during milling and repaving work at the additional parking areas, as noted in the line item above. The budget includes 10% of the paved asphalt areas.	14,000	SF	\$10.00	0	0	\$70,000	\$70,000									\$140,000	Priority 4 - Recommended
5	Appearance: A budget is recommended to reseal and restripe all the asphalt paved parking areas later in the term.	1	LS	\$39,200.00	9	0									\$19,600	\$19,600	\$39,200	Priority 4 - Recommended
6	Appearance: The cast-in-place concrete sidewalks were observed to generally be in good condition. Periodic maintenance is anticipated throughout the term. The budget includes approximately 5% of the sidewalks for each occurrence.	250	SF	\$12.00	5	2			\$3,000					\$3,000			\$6,000	Priority 4 - Recommended.
7	Appearance: Two asphalt paved surface basketball courts are provided at the rear of the building. It was reported the two courts were redone in 2016. The paved area exhibits instances of cracking and a backboard and hoop were noted to be missing. Resurface the basketball court early in the term and then at the end of term. Budget includes a new backboard and hoop.	1	LS	\$15,000.00	7	6	\$15,000								\$15,000		\$30,000	Priority 4 - Recommended.
<b>STRUCTURE</b>																		
8	<b>F</b> Building Integrity: The building's foundation consist of cast-in-place reinforced concrete walls and piers. One of the piers in the boiler room adjacent to the sump pump has spalling concrete and exposed reinforcement. Remove all loose concrete and surface corrosion and patch.	10	SF	\$120.00			\$1,200										\$1,200	Priority 3 - Necessary - Not Yet Critical

1. Opinions of cost are based on limited observations of readily observable conditions and available documentation. Determination of actual costs require competitive bidding by qualified contractors on a scope of work that may require development of repair documents by a qualified engineer or architect.  
 2. Marx|Okubo is not an environmental consultant or evaluator of pest infestation. Opinions of cost exclude abatement of hazardous materials or remediation of pest infestations unless otherwise noted.  
 3. This cost table is a supplementary document to the report and should be reviewed in conjunction with the full report and exhibits.  
 4. Marx|Okubo's standard inflation rate for the purposes of the Capital Reserve Schedule is 3%. At the request of the Town of Wilton, the rate has been adjusted to 4%.

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
<b>ENVELOPE AND EXTERIOR</b>																		
9	<b>P</b> Building Integrity: The roofing system consist of an EPDM (ethylene propylene diene terpolymer) membrane, reportedly installed during a 2013 renovation. It was reported that after the installation of the mechanical screen walls at the roof, sporadic roof leaks have occurred. In addition localized soft spot areas near the screen walls were noted, which is may be an indication of degraded insulation under the roofing membrane, due to trapped moisture in the system. Localized areas through the roof were noted to have ponding and debris. Perform an infrared thermographic inspection throughout the roof, to identify areas of possible entrapped moisture within the system,	1	LS	\$7,500.00			\$7,500										\$7,500	Priority 2 - Potentially Critical.
10	<b>P</b> Building Integrity: Based on the results of the Infrared Thermographic Inspection, repair the areas identified. Repairs may include removing damaged insulation, inspecting the condition of the roof deck, repairing damaged areas, providing new insulation and patching the roof membrane, and providing new roof leaders where damaged or missing roof leaders are noted.	500	SF	\$20.00			\$10,000										\$10,000	Priority 2 - Potentially Critical.
11	Energy: Portions of the the low slope roof could be considered for the addition of photovoltaic (PV) solar panels. Engage the services of a registered Structural Engineer to perform an analysis to determine if the structure can support the added loads of a PV system as well as a qualified party to perform a feasibility study, including a solar analysis. Based on the results of a preliminary structural and solar analysis, consideration could be given to the addition of PV panels on the roof.	1	LS	\$15,000.00			\$15,000										\$15,000	Priority 4 - Recommended
12	Energy: Advisory - Based on the results of the PV panel feasibility study, install the system and perform building upgrades as needed. The budget provided is for reference, final budget will vary depending on the system size, type and building system upgrades required to install the PV system. The scope of work may include the installation of solar panels, wiring, inverters, electrical panels, and monitoring systems. The results of the analysis will determine the system's limitations and requirements. PV solar panels can provide the building with a renewable, clean source of energy. The cost could be in the order of \$15 to \$25 per square foot. Potential savings could be anticipated if rebate programs and/or incentives are available and if the project is considered at a portfolio level.	25,000	SF	\$20.00			\$0										\$0	Priority 4 - Recommended
13	<b>P</b> Building Integrity: Portions of the building facades consist of brick masonry unit walls. Localized areas of the brick masonry walls have cracked and spalled units. Perform a phased brick masonry replacement program. Budget represents approximately 5% brick masonry unit wall replacement in each phase.	600	SF	\$60.00			\$18,000									\$18,000	\$36,000	Priority 3 - Necessary - Not Yet Critical.
14	<b>P</b> Building Integrity: Brick mortar joints in localized areas of the brick masonry unit walls has eroded and it's in poor condition. Perform a phased repointing program throughout areas of damaged or missing mortar joint. Budget represents approximately 2% brick mortar joint repointing in each phase.	1,200	SF	\$20.00			\$8,000				\$8,000					\$8,000	\$24,000	Priority 3 - Necessary - Not Yet Critical.
15	<b>P</b> Building Integrity: Perimeter joint sealant throughout the brick masonry facade has failed. Perform a comprehensive phased joint sealant replacement program throughout the building. Budget represents approximately 20% sealant replacement in each phase.	7,500	LF	\$10.00	10	9	\$25,000				\$25,000					\$25,000	\$75,000	Priority 3 - Necessary - Not Yet Critical.
16	A budget is provided for general contractor overhead, profit, general conditions associated to the envelope and exterior.	1	LS	\$37,000.00			\$15,000				\$8,000					\$14,000	\$37,000	
17	A budget is provided for architectural/engineering fees associated to the envelope and exterior.	1	LS	\$22,500.00			\$9,000				\$5,000					\$8,500	\$22,500	
18	A budget is provided for design and construction contingencies associated to the envelope and exterior.	1	LS	\$14,000.00			\$6,000				\$3,000					\$5,000	\$14,000	

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
<b>INTERIOR IMPROVEMENTS</b>																		
19	Appearance: Interior finishes were observed to generally be in good condition. Isolated areas of stained vinyl ceramic tiles were observed at the south wing of the building. Perform localized repairs early in the term and continue with phased replacement of interior improvements as conditions warrant due to wear and tear with age. The budget assumes approximately 20% of the total square feet. Interior finishes consist of painted gypsum wall and ceiling boards; suspended ceilings with acoustic tiles; vinyl, carpet, or tile floors.	7,600	SF	\$100.00	7	6	\$152,000						\$152,000	\$152,000	\$152,000	\$152,000	\$760,000	Priority 3 - Potentially Critical.
20	Appearance: There are currently three unfinished rooms on the south wing of the building. It was reported upon determination of the use of these spaces, the rooms will be finished. We have included a preliminary budget for work of this type in the term for consideration. Final budget will be based on Owner selected level of finishes and materials.	2,300	SF	\$150.00	0	0					\$115,000	\$115,000	\$115,000				\$345,000	Priority 4 - Recommended.
21	A budget is provided for general contractor overhead, profit, general conditions associated to the interior renovation.	1	LS	\$274,000.00			\$38,000				\$28,000	\$28,000	\$66,000	\$38,000	\$38,000	\$38,000	\$274,000	
22	A budget is provided for architectural/engineering fees associated to the interior renovation.	1	LS	\$166,000.00			\$23,000				\$17,000	\$17,000	\$40,000	\$23,000	\$23,000	\$23,000	\$166,000	
23	A budget is provided for design and construction contingencies associated to the interior renovation.	1	LS	\$108,000.00			\$15,000				\$11,000	\$11,000	\$26,000	\$15,000	\$15,000	\$15,000	\$108,000	
<b>MECHANICAL/ELECTRICAL/PLUMBING</b>																		
24	Building Integrity: Air-cooled, ducted split systems provide cooling to the building. There are two units located on the roof and one on the exterior of the building. Each system consists of a condensing unit and a fan coil unit. The systems each have a capacity of one ton and distribute air through overhead ductwork. Replace each system when it reaches the end of its service life or as maintenance costs dictate. The budget includes a replacement in kind of the units with the reuse of ductwork. The units were installed in 2016 and were manufactured by Mitsubishi.	3	TON	\$5,000.00	15	7								\$15,000			\$15,000	Priority 3: Necessary - Not Yet Critical
25	Building Integrity: Two air-cooled rooftop packaged unit (RTU) provide heating and cooling to portions of the building. One RTU is natural gas fired and the other is provided with a hot water coil that is fed from the boilers. The units have capacities of 10 and 28 tons and distribute air through overhead ductwork. Replace the units as they reach the end of their service life or as maintenance costs dictate. The budget includes a replacement in kind of the units with the reuse of ductwork, and an allowance for rigging. The units were manufactured by Trane.	38	TON	\$3,500.00	15	7								\$133,000			\$133,000	Priority 3: Necessary - Not Yet Critical
26	Building Integrity: Approximately 18 unit ventilators provide cooling and heating to classrooms throughout the building. The units vary in capacity and directly distribute air. All PTAC units observed were installed in 2016. Replace the units as they reach the end of their service life or as maintenance costs dictate. The budget includes a replacement in kind of the units with the reuse of piping. The units were manufactured by Trane.	18	EA	\$5,000.00	10	7			\$45,000		\$45,000						\$90,000	Priority 3: Necessary - Not Yet Critical
27	Building Integrity: The building has a 100-gallon natural gas fired water heater located in the mechanical room in the basement of the building. Replace the water heater when it reaches the end of its service life or as maintenance costs dictate. The budget includes a replacement in kind with the reuse of all associated piping. The water heater was manufactured by State Industries.	1	EA	\$25,000.00	10	1									\$25,000		\$25,000	Priority 3 - Necessary - Not Yet Critical
28	Building Integrity: Eversource provides electrical service to the building, which enters the building through the basement. The building does not have any history of infrared scans being performed. It is recommended to engage a qualified contractor to perform a preliminary infrared scan of the primary electrical distribution equipment to identify potential electrical system issues. Infrared scans are recommended to become part of the building's annual preventative maintenance in order to detect electrical issues.	1	EA	\$3,000.00	3	2	\$3,000										\$3,000	Priority 4 - Recommended

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
<b>BUILDING EQUIPMENT</b>																		
29	Building Integrity: The building was renovated in 1995 with one Kone Hydraulic Passenger Elevator located in the east wing of the building. The elevator was observed to be in operable condition with signs of use and wear. It is recommended to modernize the elevator as it reaches the end of its service life or as maintenance costs dictate.	1	EA	\$60,000.00	25	23		\$60,000									\$60,000	Priority 3 - Necessary - Not Yet Critical
<b>ACCESSIBILITY</b>																		
30	ADA: See the Town Hall cost table for the recommendation on the Transition Plan.	0	EA	\$0.00	0	0	\$0										\$0	Priority 4 - Recommended

Total (Uninflated)							\$664,700	\$196,000	\$48,000	\$0	\$265,000	\$171,000	\$399,000	\$379,000	\$287,600	\$326,100	\$2,736,400	
Inflation Factor (4.0%)							1.0	1.04	1.082	1.125	1.17	1.217	1.265	1.316	1.369	1.423		
Total (inflated)							\$664,700	\$203,840	\$51,917	\$0	\$310,013	\$208,048	\$504,862	\$498,738	\$393,600	\$464,142	\$3,299,860	

Evaluation Period:	10
# of Square Feet:	39,437
Reserve per Square Feet per year (Uninflated)	\$7
Reserve per Square Feet per year (Inflated)	\$8

## 2.0 EXHIBITS

DRAFT

# **FLOOD PLAIN DETERMINATION REPORT**

DRAFT

# MARX/OKUBO & ASSOCIATES - NORTHEAST : Insurance Report

## DataVerify Flood Services

### *Determination Report*

**DATE: 11/16/23**

**Account Number: INS 97900589**

**MARX/OKUBO &  
ASSOCIATES - NORTHEAST**

Owner Name: 23-2104

Certified Street Address: 180 SCHOOL RD, WILTON, CT 06897-2527

Requester: Sarah Helmrich Phone#: 914-269-5700 Fax#: 914-269-5720

Policy Number: 231116155130384

Community Name: WILTON, TOWN OF

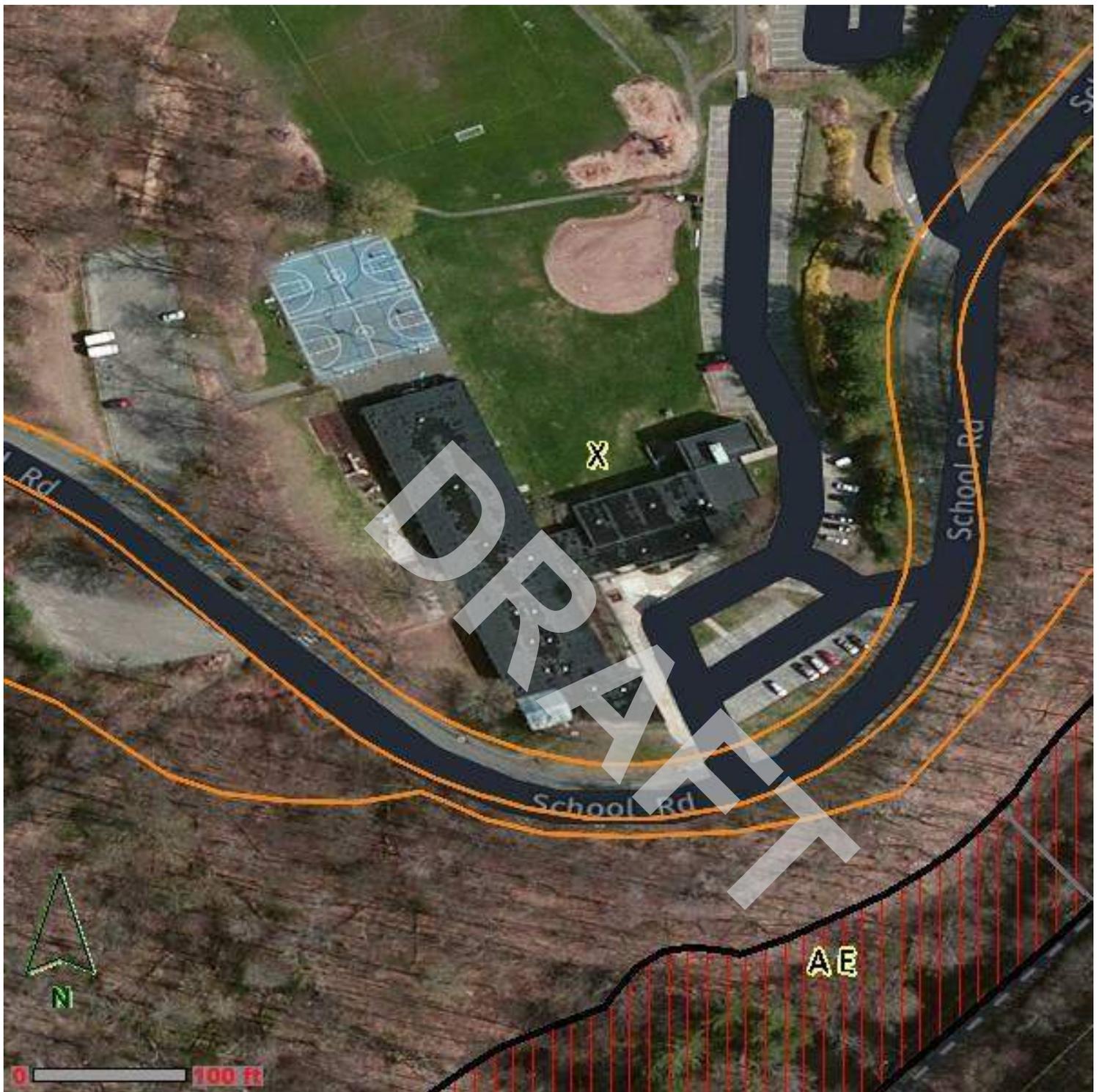
Community Status: Regular Program Type: Participating

Det ID: 130953104 Map Panel #: 09001C0383 F Community #: 090020 Panel Date: 06/18/10 Entry Date: 11/17/82

Det Date: 11/16/23 Flood Zone: X BFE: (Vertical Datum: ) LOMA/LOMR  DATE:

**Areas of minimal flooding. Areas determined to be outside 500 year flood plain.**

**This flood determination is provided to the lender pursuant to the flood disaster protection act and for no other purpose. It does not create any private cause of action on behalf of the Policy Holder against DataVerify Flood Services.**



<b>Flood Zones Legend</b>	A Values	X500 /SHX / B	X / C
	D / NMA	V Values	Street

**Determination Id :** 130953104  
**Certified Address :** 180 SCHOOL RD, WILTON, CT 06897-2527  
**Flood Zone :** X  
**Base Flood Elevat :** N/A  
**FEMA Map Panel Number :** 09001C0383 F  
**FEMA Map Panel Eff. Date :** 06/18/10  
**Coast CBRA Date :**  
**LOMA LOMR Date :**  
**Distance To 100/500 :**  
**Flood Zone**

DISCLAIMER: THIS MAP IMAGE IS PROVIDED AS A VISUAL AID WITHOUT ANY WARRANTIES OR GUARANTEES; IT DOES NOT CREATE ANY PRIVATE CAUSE OF ACTION ON BEHALF OF THE BORROWERS OR INSURED PROPERTY OWNERS AGAINST THE FLOOD DETERMINATION PROVIDER. DISTANCE TO 100/500 YEAR FLOOD AREA IS AN APPROXIMATION CALCULATED FROM GEOCODING TECHNOLOGY AND IS NON-GUARANTEED.

# PHOTOGRAPHS

DRAFT



1 - Comstock building and surface parking along the south side of the property.



2 - Asphalt paved parking is provided at the front of the building.



3 - The asphalt paved parking provided at the side of the building exhibits alligator and longitudinal cracking.



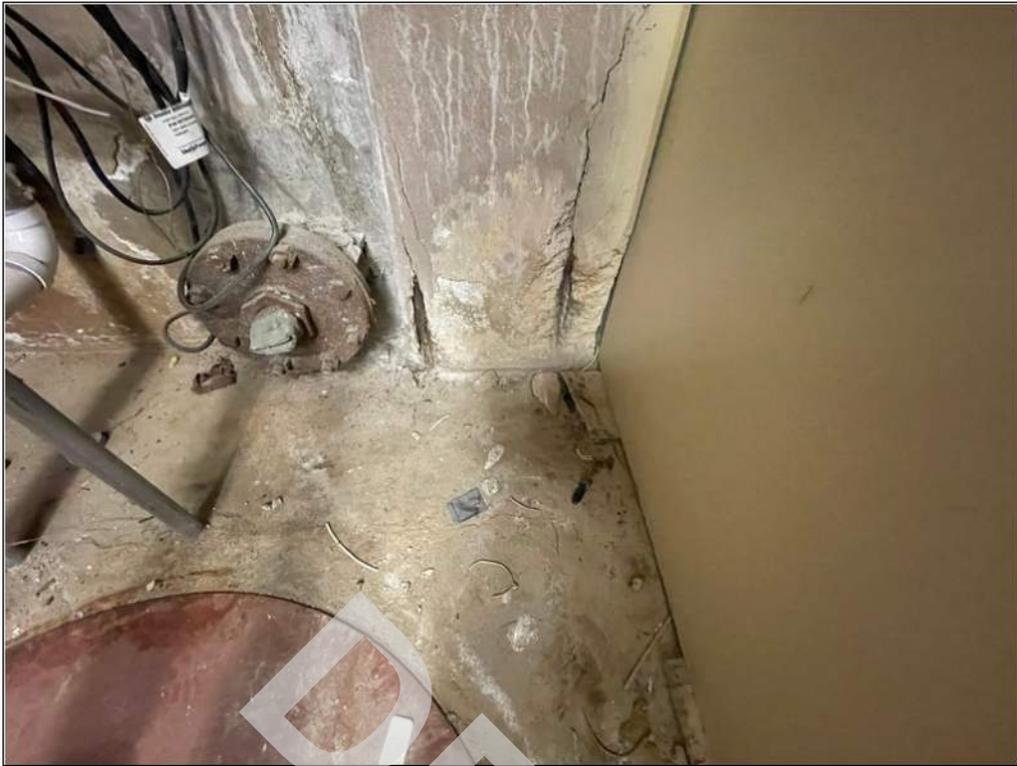
4 - One of the two additional parking lots exhibit cracking and damaged curbing.



5 - Longitudinal and alligator cracking was observed at the second additional parking lot provided.



6 - Two basketball courts are provided at the rear of the building.



7 - Areas of the reinforced concrete foundation have cracked and spalled at the boiler room.



8 - The roofing system consists of an EPDM (ethylene propylene diene terpolymer) membrane.



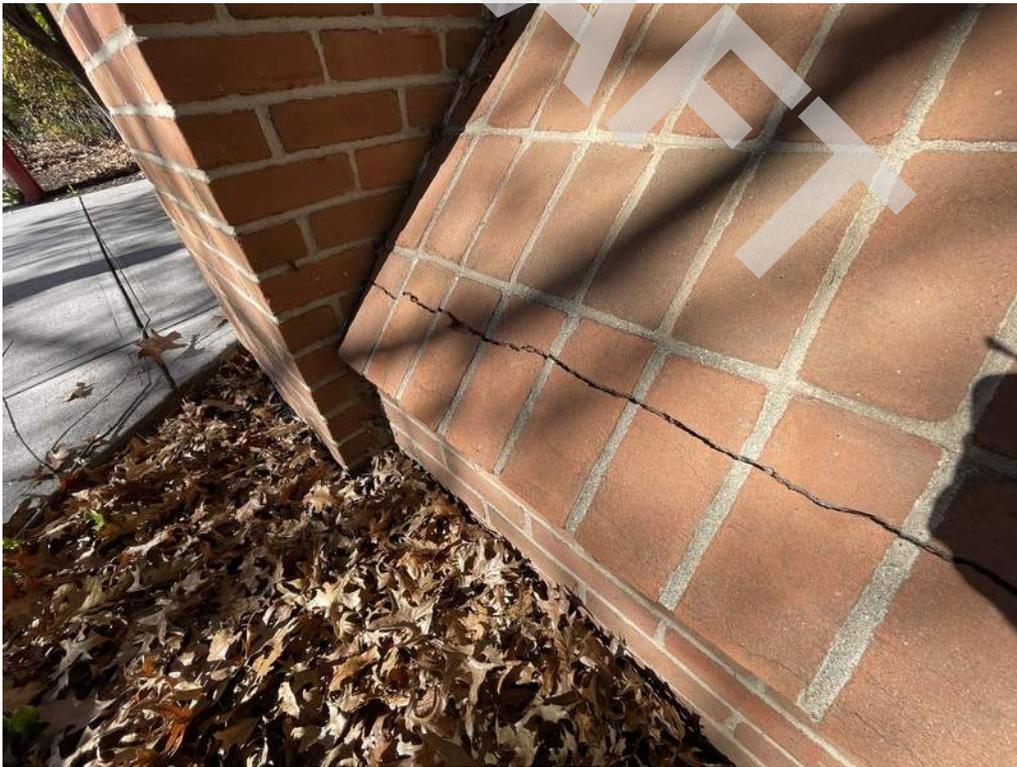
9 - Mechanical screen and supporting structure over the roofing system.



10 - Debris accumulation in a soft spot area of the roof.



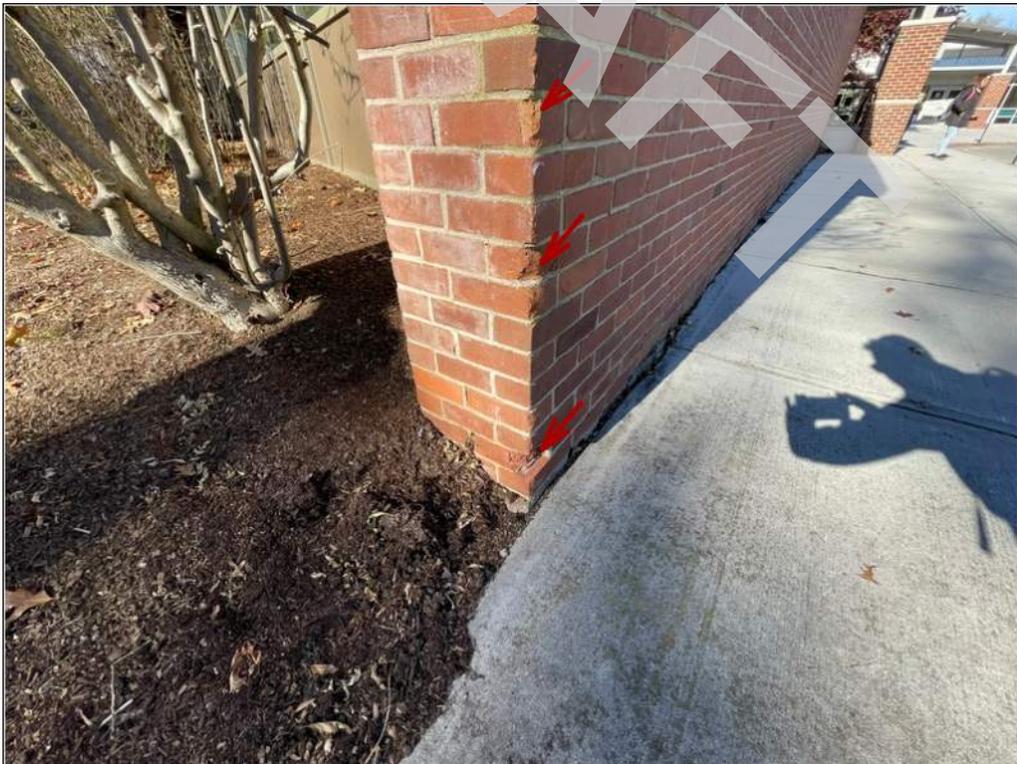
11 - The roof leader is missing.



12 - Brick masonry units have cracked along the brick facade.



13 - Areas of the brick masonry unit wall have organic growth and deterioration at the mortar joints.



14 - Localized instances of brick masonry units are spalling.



15 - Brick masonry unit mortar joints have cracked.



16 - Most perimeter joint sealant around windows has failed.



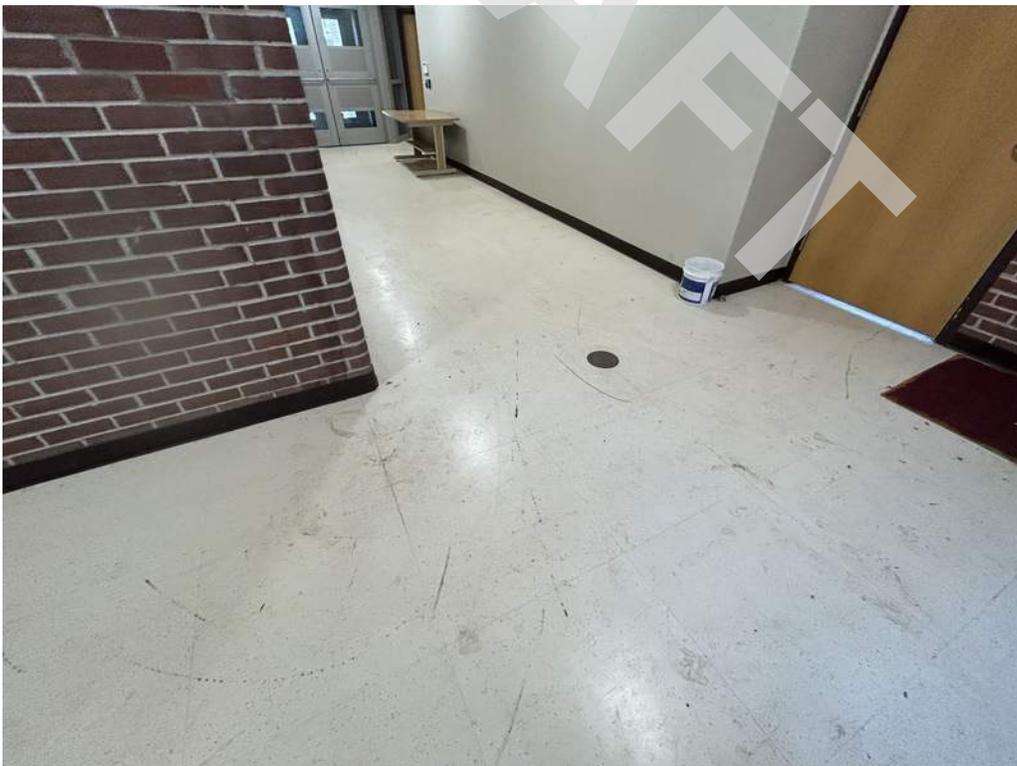
17 - Perimeter joint sealant along windows is in poor condition. Deficiencies include ruptured and crazed sealant.



18 - Interior lobby finishes consist of painted gypsum wall boards and instances of brick, suspended ceilings with acoustic tiles, and tile floors.



19 - One of the three unfinished rooms.



20 - Stained vinyl composite tiles were observed at the public corridor, on the south wing of the building.



21 - Two natural gas fired boilers located in the lower level provide heating hot water throughout the building.



22 - Unit ventilators provide heating and cooling to individual classrooms.



23 - An energy recovery ventilator provides conditioned ventilation air to portions of the building.



24 - Split system air conditioning units are located on the roof and provide cooling to portions of the building.



25 - Two rooftop packaged units (RTU) provide heating and cooling to portions of the building. One RTU is natural gas fired and the other is provided with a hot water coil that is fed from the boilers.



26 - A pad mounted air-cooled chiller located on the exterior of the building provides chilled water to the building.



27 - A natural gas fired storage-type water heater is located in the lower level and provides hot water throughout the building.



28 - A diesel-fired emergency generator located on the exterior of the building provides emergency power to the building.



29 - The building is provided with a fire alarm panel which is located in the vestibule of the main entrance.



30 - The building is provided with a Kone hydraulic passenger elevator located in the east wing of the building.



31 - Elevator equipment is located in the elevator equipment room on the lower level.



32 - Tables do not provided knee and toe clearance and inadequate clear floor space to the patio was observed at the Senior Center Café.



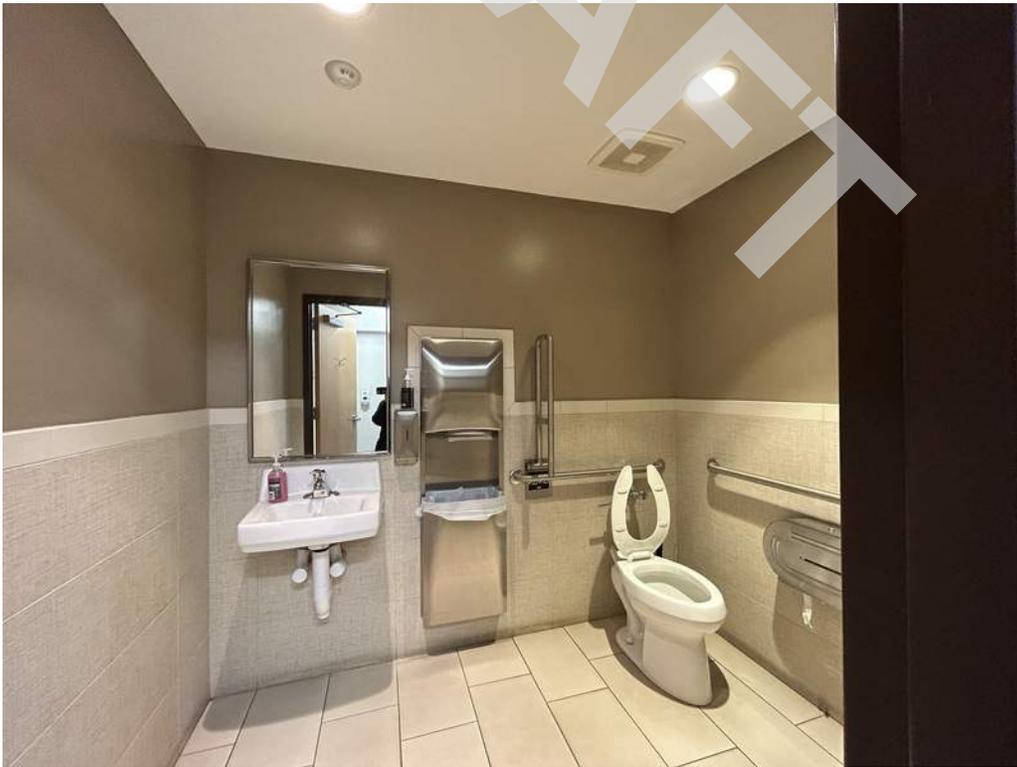
33 - Adequate clear floor space is not provided at the kitchen sink in the Senior Center Café.



34 - The door threshold at the Senior Center Café exceeds the allowable height.



35 - At the Senior Center Game Room, the pool table and seating tables do not provide knee and toe clearance.



36 - Typical accessible single-user restroom.



37 - The snack vending machine provided is not complaint as the operable parts are above the reach range.



38 - The minimum required clearance measured from the transfer shower control wall is not provided.



39 - Scald guard protection is not provided under the sinks.

FACILITY CONDITION ASSESSMENT

VETERANS MEMORIAL STADIUM  
CONCESSION & RESTROOM BUILDING

180 School Road  
Wilton, Connecticut



Prepared for:

**Town of Wilton**  
**238 Danbury Road**  
**Wilton, Connecticut 06897**  
Attention: Mr. Jeff Pardo  
jeff.pardo@wiltonct.org

Marx|Okubo Job No. 23-2104

February 2, 2024

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## 1.0 DEFICIENCIES AND RECOMMENDATIONS

Recommendations for remedial work addressing significant building deficiencies are included in this section. Recommendations are divided into *Immediate Work Items* and *Capital Work Items*.

The cost threshold for this project is \$3,000. Items that do not meet this threshold are excluded from our recommendations.

**Immediate Work Items:** Include items that correct safety and life-threatening building and/or fire code violations; items that, if left unrepaired over the next year, would result in serious damage to the building or its contents; and elements not compliant with federal accessibility regulations. These items should be undertaken on a priority basis taking precedence over routine preventive maintenance work.

**Capital Work Items:** Include items that are customarily repaired or replaced over several years due to economic considerations (e.g. paving, roofs, appliances), items which are currently in acceptable condition but will reach or exceed their useful economic service life during the term, and items that are periodic in nature but not considered normal maintenance (e.g. pavement seal coating, painting). Also included are significant energy-saving or operational improvements. These opinions of cost are generally based on industry-accepted life spans for these systems unless there are mitigating circumstances.

In addition, based on the Request for Qualifications/Proposals requirements, Marx|Okubo Associates, Inc. has assigned Facility Deficiency Priorities and Categories as follows:

Facility Deficiency Priorities:

- Priority 1 - Current Critical (Assigned to the Immediate Work items described above)
- Priority 2 - Potentially Critical
- Priority 3 - Necessary – Not Yet Critical
- Priority 4 - Recommended
- Priority 5 - Does not meet current codes/standards

Facility Deficiency Categories:

- Life Safety Code Compliance
- Building Code Compliance
- Building Integrity
- Appearance
- Energy
- Environmental

**IMMEDIATE REPAIR COST**

Prepared By: Marx|Okubo Associates, Inc.  
 Building(s) Gross Area (S.F.): 908  
 Property Age (Years): 16

Date Prepared: February 2, 2024

#	Item	QTY	Unit	Unit Cost	Replacement Percent	Immediate Total	Comments
<b>ACCESSIBILITY</b>							
1	ADA: At the men and women's multi-user restrooms, the center of the toilet is mounted below the range tolerance from the side wall and the door threshold exceeds the allowable height. Remount the toilets to the acceptable range and replace thresholds or modify finish surfaces to reduce effective threshold and meet compliance. Door thresholds to be addressed with site repairs and displacement.	2	EA	\$3,000.00	100%	\$6,000	Priority 1 - Current Critical.
2	ADA: A lowered counter area is not provided at the concession stand. Provide a lowered counter area not exceeding 36" maximum from the finish floor.	1	EA	\$2,000.00	100%	\$2,000	Priority 1 - Current Critical.
Total Repair Cost						\$8,000	

### CAPITAL RESERVE SCHEDULE

Prepared By: Marx|Okubo Associates, Inc.  
 Building(s) Gross Area (S.F.): 908  
 Property Age (Years): 16

Date Prepared: February 2, 2024  
 Term: 10  
 Inflation Rate: 4%<sup>4</sup>

Footnotes: <sup>1 2 3 4</sup>

Advisory Items are not included in the 10-year capital reserve schedule.

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
<b>SITE</b>																		
1	Building Integrity: Cracking and vertical displacement were observed throughout the cast-in-place concrete paths around the building. It was reported heaving around the site may be due to drainage related issues and than an engineer has been engaged for site remediation. A scope of work or budget has not been provided for our review. It is recommended that the scope includes an investigation to review surface drainage from the sloped area directly west of the building, subsurface conditions and drainage capacity of the stormwater system around the site.	1	LS	\$15,000.00			\$15,000										\$15,000	Priority 2 - Potentially Critical.
2	Building Integrity: Based on the results and recommendations from the engineer investigation, perform the site repairs. Repair scope could include removing all sidewalks surrounding the building, excavating the area to verify subsurface, repairing subsurface conditions, providing new drainage system around the building site, and repouring all the sidewalks.	2,000	SF	\$35.00			\$70,000										\$70,000	Priority 2 - Potentially Critical.
3	A budget is provided for general contractor overhead, profit, and general conditions for the work associated with the sidewalk and subsurface repairs.	1	LS	\$17,500.00			\$17,500										\$17,500	
4	A budget is provided for architectural/engineering fees associated to the sidewalk and subsurface repairs.	1	LS	\$10,500.00			\$10,500										\$10,500	
5	A budget is provided for design and construction contingencies associated to the sidewalk and subsurface repairs.	1	LS	\$7,000.00		16	\$7,000										\$7,000	
<b>ENVELOPE AND EXTERIOR</b>																		
6	<b>P</b> Building Integrity: It was noted and reported that the original design of the pavilion excluded roof gutters and leaders. The lack of roof gutters and leaders may have contributed to the concrete paving heaving that has occurred around the building. Engage the services of a qualified professional engineer to design a roof gutter and leader system that connects to the site's stormwater system.	1	LS	\$15,000.00			\$15,000										\$15,000	Priority 2 - Potentially Critical.
7	Building Integrity: Based on the design by the qualified professional engineer, provide new gutters, leaders, and connect to the site's stormwater management system. Scope of work may include excavating and installing pipes around the perimeter of the building, and should be coordinated with the site repair work.	1	LS	\$25,000.00			\$25,000										\$25,000	Priority 2 - Potentially Critical.
8	<b>P</b> Building Integrity: Localized areas of the trim work and soffits along the perimeter of the building have deteriorated, due to the paving heaving and missing gutters. Perform localized repairs, including replacing corroded soffit vents and replacing or reattaching displaced base and window trim work. Work to the building to be completed immediately after the site work has been finalized.	250	LS	\$20.00			\$5,000										\$5,000	Priority 3 - Necessary - Not Yet Critical.
9	A budget is provided for general contractor overhead, profit, and general conditions for the work associated with the envelope and exterior.	1	LS	\$7,500.00			\$7,500										\$7,500	
10	A budget is provided for architectural/engineering fees associated to the envelope and exterior work.	1	LS	\$4,500.00			\$4,500										\$4,500	
11	A budget is provided for design and construction contingencies associated to the envelope and exterior work.	1	LS	\$3,000.00			\$3,000										\$3,000	

1. Opinions of cost are based on limited observations of readily observable conditions and available documentation. Determination of actual costs require competitive bidding by qualified contractors on a scope of work that may require development of repair documents by a qualified engineer or architect.  
 2. Marx|Okubo is not an environmental consultant or evaluator of pest infestation. Opinions of cost exclude abatement of hazardous materials or remediation of pest infestations unless otherwise noted.  
 3. This cost table is a supplementary document to the report and should be reviewed in conjunction with the full report and exhibits.  
 4. Marx|Okubo's standard inflation rate for the purposes of the Capital Reserve Schedule is 3%. At the request of the Town of Wilton, the rate has been adjusted to 4%.

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
<b>INTERIOR IMPROVEMENTS</b>																		
12	Appearance: Interior finishes were observed to generally be in good condition. A phased replacement of interior improvements is recommended as conditions warrant due to wear and tear with age. The budget assumes approximately 20% of the total square feet. Interior finishes consist of painted gypsum wall and ceiling boards and painted concrete slabs.	180	EA	\$100.00	7	2					\$6,000	\$6,000	\$6,000				\$18,000	Priority 3 - Potentially Critical.
<b>MECHANICAL/ELECTRICAL/PLUMBING</b>																		
13	Building Integrity: The building has two 20-gallon electric water heaters. Each structure is equipped with one water heater. Replace the water heaters when they reach the end of their service life or as maintenance costs dictate. The budget includes a replacement in kind with the reuse of all associated piping and electrical wiring. The water heaters were manufactured by AO Smith.	2	EA	\$2,000.00	10	9	\$2,000		\$2,000								\$4,000	Priority 3 - Necessary - Not Yet Critical
14	Building Integrity: Eversource provides electrical service to the building. The building does not have any history of infrared scans being performed. It is recommended to engage a qualified contractor to perform a preliminary infrared scan of the primary electrical distribution equipment to identify potential electrical system issues. Infrared scans are recommended to become part of the building's annual preventative maintenance in order to detect electrical issues.	1	EA	\$3,000.00	3	2	\$3,000										\$3,000	Priority 4 - Recommended
<b>ACCESSIBILITY</b>																		
15	ADA: See the Town Hall cost table for the recommendation on the Transition Plan.	0	EA	\$0.00	0	0	\$0										\$0	Priority 4 - Recommended

Total (Uninflated)							\$185,000	\$0	\$2,000	\$0	\$6,000	\$6,000	\$6,000	\$0	\$0	\$0	\$205,000
Inflation Factor (4.0%)							1.0	1.04	1.082	1.125	1.17	1.217	1.265	1.316	1.369	1.423	
Total (inflated)							\$185,000	\$0	\$2,163	\$0	\$7,019	\$7,300	\$7,592	\$0	\$0	\$0	\$209,074

Evaluation Period:	10
# of Square Feet:	908
Reserve per Square Feet per year (Uninflated)	\$23
Reserve per Square Feet per year (Inflated)	\$23

## 2.0 EXHIBITS

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# **FLOOD PLAIN DETERMINATION REPORT**

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# MARX/OKUBO & ASSOCIATES - NORTHEAST : Insurance Report

## DataVerify Flood Services

### *Determination Report*

DATE: 01/22/24

Account Number: INS 97900589

MARX/OKUBO &  
ASSOCIATES - NORTHEAST

Owner Name: 23-2104

Certified Street Address: 180 SCHOOL RD, WILTON, CT 06897-2527

Requester: Sarah Helmrich Phone#: 914-269-5700 Fax#: 914-269-5720

Policy Number: 240122135559439

Community Name: WILTON, TOWN OF

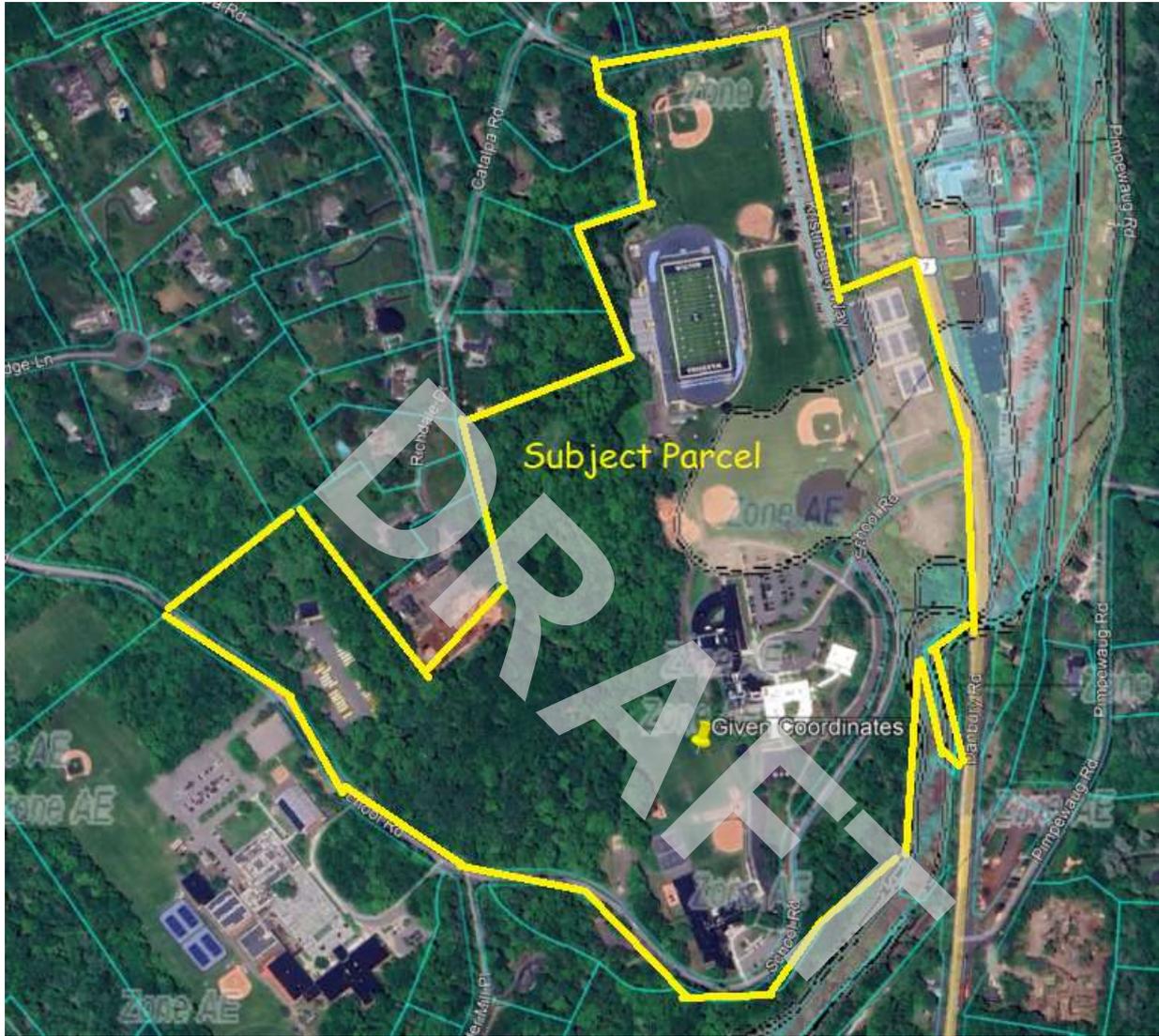
Community Status: Regular Program Type: Participating

Det ID: 559740457 Map Panel #: 09001C0383 F Community #: 090020 Panel Date: 06/18/10 Entry Date: 11/17/82

Det Date: 01/22/24 Flood Zone: X BFE: (Vertical Datum: ) LOMA/LOMR  DATE:

**Areas of minimal flooding. Areas determined to be outside 500 year flood plain.**

**This flood determination is provided to the lender pursuant to the flood disaster protection act and for no other purpose. It does not create any private cause of action on behalf of the Policy Holder against DataVerify Flood Services.**



Structures





# PHOTOGRAPHS

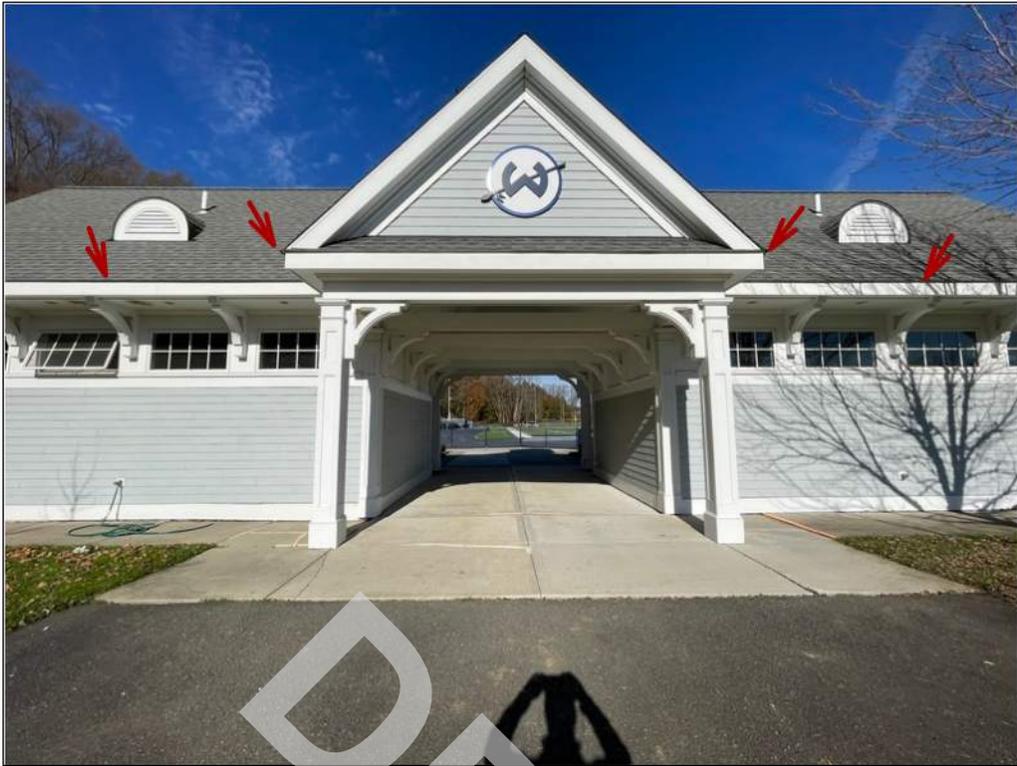
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1 - Paving and landscape area along the north side of the building.



2 - Extensive cracking and vertical displacement was observed throughout the cast-in-place concrete paths.



3 - No gutters or leaders are provided throughout the building.



4 - Differential movement noted between fiber cement trim and panels throughout the building enclosure.



5 - Recessed lighting metal rings have corroded due to water and moisture exposure.



6 - Fiber cement base has displaced and detached from the facade.



7 - Interior kitchen finishes consist of painted gypsum board ceiling and boards and painted concrete slabs.



8 - Interior restroom finishes consist of painted gypsum board ceiling and boards and painted concrete slabs.



9 - Two electric storage-type water heaters provide hot water to the building.



10 - The restroom door threshold exceeds the allowable height.



11 - A lowered counter area is not provided at the concession stand.

FACILITY CONDITION ASSESSMENT

VETERANS MEMORIAL STADIUM TEAM  
ROOMS AND PRESS BOX

180 School Road  
Wilton, Connecticut



Prepared for:

Town of Wilton  
238 Danbury Road  
Wilton, Connecticut 06897  
Attention: Mr. Jeff Pardo  
jeff.pardo@wiltonct.org

Marx|Okubo Job No. 23-2104

February 2, 2024

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## 1.0 DEFICIENCIES AND RECOMMENDATIONS

Recommendations for remedial work addressing significant building deficiencies are included in this section. Recommendations are divided into *Immediate Work Items* and *Capital Work Items*.

The cost threshold for this project is \$3,000. Items that do not meet this threshold are excluded from our recommendations.

**Immediate Work Items:** Include items that correct safety and life-threatening building and/or fire code violations; items that, if left unrepaired over the next year, would result in serious damage to the building or its contents; and elements not compliant with federal accessibility regulations. These items should be undertaken on a priority basis taking precedence over routine preventive maintenance work.

**Capital Work Items:** Include items that are customarily repaired or replaced over several years due to economic considerations (e.g. paving, roofs, appliances), items which are currently in acceptable condition but will reach or exceed their useful economic service life during the term, and items that are periodic in nature but not considered normal maintenance (e.g. pavement seal coating, painting). Also included are significant energy-saving or operational improvements. These opinions of cost are generally based on industry-accepted life spans for these systems unless there are mitigating circumstances.

In addition, based on the Request for Qualifications/Proposals requirements, Marx|Okubo Associates, Inc. has assigned Facility Deficiency Priorities and Categories as follows:

Facility Deficiency Priorities:

- Priority 1 - Current Critical (Assigned to the Immediate Work items described above)
- Priority 2 - Potentially Critical
- Priority 3 - Necessary – Not Yet Critical
- Priority 4 - Recommended
- Priority 5 - Does not meet current codes/standards

Facility Deficiency Categories:

- Life Safety Code Compliance
- Building Code Compliance
- Building Integrity
- Appearance
- Energy
- Environmental

### IMMEDIATE REPAIR COST

Prepared By: Marx|Okubo Associates, Inc.  
 Building(s) Gross Area (S.F.): 2336  
 Property Age (Years): 17

Press box : 336sf/Team Rooms: 2,000sf

Date Prepared:

February 2, 2024

Advisory Items are not included in the 10-year capital reserve schedule.

#	Item	QTY	Unit	Unit Cost	Replacement Percent	Immediate Total	Comments
<b>SITE</b>							
1	Ⓟ Building Integrity - Team Rooms: The Retaining wall adjacent to the south end of the south team rooms has cracked along the entire height of the wall. Other locations such as the entrance at one of the team rooms had spalled concrete areas. Seal crack and patch spalled concrete areas.	1	LS	\$2,000.00	100%	\$2,000	Priority 1 - Current Critical.
<b>ACCESSIBILITY</b>							
2	Ⓟ ADA: Accessible parking spaces were not observed at the parking lot serving the facility. If a range of 151-200 parking spaces are provided, per ADA standards, a minimum of six accessible parking spaces are required, including one van-accessible parking space. Provide the minimum required number of accessible parking spaces with complaint signage.	6	EA	\$1,000.00	100%	\$6,000	Priority 1 - Current Critical
3	Ⓟ ADA: The exterior water fountains outside the team rooms are non-compliant. A firm surface for a forward approach is not provided and the operable parts appear to be above the complaint height. Remove and replace with a high-lo fountain and pour concrete to provide a forward approach to meet compliance.	1	LS	\$6,000.00	100%	\$6,000	Priority 1 - Current Critical
Total Repair Cost						\$14,000	

### CAPITAL RESERVE SCHEDULE

Prepared By: Marx|Okubo Associates, Inc.  
 Building(s) Gross Area (S.F.): 2336 Press box : 336sf/Team Rooms: 2,000sf  
 Property Age (Years): 17

Date Prepared: February 2, 2024  
 Term: 10  
 Inflation Rate: 4%

Footnotes: <sup>1 2 3 4</sup>

Advisory Items are not included in the 10-year capital reserve schedule.

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
<b>SITE</b>																		
1	Ⓟ Building Integrity - Team Rooms: The site area along the west end of the team rooms was heavily laden with debris. it was reported that during rain events, water from the adjacent hill directly west of the stadium travels down to the team rooms level. Furthermore, it was noted that the grading along the west of the team rooms does not slope away from the building. Based on documentation this area is serviced by four yard drain basins, however, during Marx Okubo's visit, only one of the drains was readily accessible. Clear the area of debris and soil to expose the remaining yard drains, regrade the area to slope away from the building and install dome area drain covers.	1,500	LS	\$6.00			\$9,000										\$9,000	Priority 2 - Potentially Critical.
<b>STRUCTURE</b>																		
2	Ⓟ Building Integrity - Team Rooms: Localized areas of the steel structure surfaces inside the team rooms are starting to corrode and the coating is peeling. Remove surface corrosion and apply a corrosion inhibitor coating.	1	LS	\$5,000.00			\$5,000										\$5,000	Priority 2 - Potentially Critical.
<b>ENVELOPE AND EXTERIOR</b>																		
3	Ⓟ Appearance - Press Box: Exterior siding consist of a metal panels. Several panels have displaced or have surface dents. Replace damaged panels.	1	LS	\$5,000.00					\$5,000								\$5,000	Priority 3 - Necessary - Not Yet Critical.
4	Ⓟ Building Integrity - Team Rooms: The enclosure around the team rooms consist of CMU (Concrete Masonry Unit) walls with a metal enclosure between the team room corrugated metal roof and the CMU enclosure. Localized areas of the metal grandstand sitting above the team rooms have leaks that are washing down the CMU walls, and signs of water intrusion along the surface and floors were noted. Engage the services of a qualified engineer/architect to review the condition and provide recommendations to seal the areas and prevent water from permeating to the structure and walls.	1	LS	\$15,000.00			\$15,000										\$15,000	Priority 2 - Potentially Critical.
5	Building Integrity - Advisory - Team Rooms: Based on the result of the investigation and recommendations, perform the repairs to the grandstand, CMU, and metal panel between the metal roof and the CMU walls. The scope of the repairs may include sealing joints and surfaces throughout the perimeter of the CMU walls and along the grandstand.	1	LS	\$60,000.00			\$0										\$0	Priority 2 - Potentially Critical.
6	Ⓟ Building Integrity: Team room doors have localized deficiencies including metal surface corrosion and a damaged door closer. Wood surfaces on the press box doors are starting to deteriorate. Replace damaged door closer component, and remove surface corrosion from team room doors and paint throughout. Repair wood surfaces and refinish at the press box.	1	LS	\$6,000.00			\$6,000										\$6,000	Priority 2 - Potentially Critical.
7	Ⓟ Building Integrity - Advisory: Press box roof chain link is broken in a localized area. Repair chain link. Item may be addressed as part of a regular maintenance and repair program, therefore, no budget is provided.	1	LS	\$0.00			\$0										\$0	Priority 2 - Potentially Critical.

1. Opinions of cost are based on limited observations of readily observable conditions and available documentation. Determination of actual costs require competitive bidding by qualified contractors on a scope of work that may require development of repair documents by a qualified engineer or architect.  
 2. Marx|Okubo is not an environmental consultant or evaluator of pest infestation. Opinions of cost exclude abatement of hazardous materials or remediation of pest infestations unless otherwise noted.  
 3. This cost table is a supplementary document to the report and should be reviewed in conjunction with the full report and exhibits.  
 4. Marx|Okubo's standard inflation rate for the purposes of the Capital Reserve Schedule is 3%. At the request of the Town of Wilton, the rate has been adjusted to 4%.

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
<b>INTERIOR IMPROVEMENTS</b>																		
8	Appearance - Press Box & Teams Room: Interior finishes were observed to generally be in fair to good condition. Instances of deteriorated paint was observed throughout along with localized ceiling damages and damaged white board trim. Phased replacement of interior improvements is recommended as conditions warrant due to wear and tear with age. The budget assumes approximately 20% of the total square feet. Interior finishes consist of painted masonry walls, vinyl composite tiles, and textured ceilings.	400	EA	\$100.00	7	4			\$20,000	\$20,000							\$40,000	Priority 3 - Potentially Critical
9	Appearance: A protective concrete coating is provided at the team room and press box floors. The age of the coating is unknown. Deteriorated coating was observed at isolated areas throughout and could be due to the water intrusion reported. A budget is recommended to reseal the floors.	2,000	SF	\$20.00	7	6	\$20,000	\$20,000									\$40,000	Priority 3 - Potentially Critical
<b>MECHANICAL/ELECTRICAL/PLUMBING</b>																		
10	Building Integrity: The teams room and press box are provided with a variety of electric unit heaters. The unit heaters are recessed in the wall of the press box and are ceiling mounted in the teams rooms. The heaters appear to be original to the building and are in good to fair condition. Replace each system as maintenance costs dictate. The budget includes a replacement in kind of the units with the reuse of electrical wiring.	10	EA	\$500.00	15	14	\$5,000										\$5,000	Priority 3 - Necessary - Not Yet Critical
11	Building Integrity: Each team room has a 19-gallon electric water heater located in a janitor's closet. Replace the water heaters as maintenance costs dictate. The budget includes a replacement in kind with the reuse of all associated piping and electrical wiring. The water heater was manufactured by AO Smith.	2	EA	\$3,000.00	10	9	\$6,000										\$6,000	Priority 3 - Necessary - Not Yet Critical
12	Building Integrity: Vent piping on the exterior of one of the team rooms has broken and is disconnected causing the vent to partially discharge below the terminal. Replace the disconnected section of piping with new and attach it to the existing piping on the exterior of the building.	1	EA	\$3,000.00	1	0	\$3,000										\$3,000	Priority 1 - Current Critical
13	Building Integrity: Eversource provides electrical service to the building, which enters the building through the basement. The building does not have any history of infrared scans being performed. It is recommended to engage a qualified contractor to perform a preliminary infrared scan of the primary electrical distribution equipment to identify potential electrical system issues. Infrared scans are recommended to become part of the building's annual preventative maintenance in order to detect electrical issues.	1	EA	\$3,000.00	3	2	\$3,000										\$3,000	Priority 4 - Recommended
14	Life Safety Code Compliance: Fire alarm devices are not currently installed within the buildings. It is recommended to provide smoke and carbon monoxide detectors in all buildings. The scope of this work may include installing hard-wired smoke and carbon dioxide detectors in all interior spaces.	10	EA	\$700.00	1	0	\$7,000										\$7,000	Priority 2 - Potentially Critical
<b>ACCESSIBILITY</b>																		
15	ADA - Advisory - Press Box: Based on Marx Okubo's interpretation, the press box is exempted from providing accessible route. Based on section 206.2.7 U.S. Access Board Technical Guide, the aggregate area of all press boxes serving the playing field is no more than 500sf and is located in bleachers with points of entry on one level, therefore, an accessible route is not required. Although it may not be required, consideration could be given to providing a ramp or other means of accessible route.	1	LS	\$0.00			\$0										\$0	Priority 4 - Recommended.
16	ADA: See the Town Hall cost table for the recommendation on the Transition Plan.	0	EA	\$0.00	0	0	\$0										\$0	Priority 4 - Recommended

Total (Uninflated)	\$79,000	\$20,000	\$25,000	\$20,000	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$144,000
Inflation Factor (4.0%)	1.0	1.04	1.082	1.125	1.17	1.217	1.265	1.316	1.369	1.423							
Total (inflated)	\$79,000	\$20,800	\$27,040	\$22,497	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$149,337

Evaluation Period:	10
# of Square Feet:	2,336

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
	Reserve per Square Feet per year (Uninflated)						\$6											
	Reserve per Square Feet per year (Inflated)						\$6											

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## 2.0 EXHIBITS

DRAFT

# **FLOOD PLAIN DETERMINATION REPORT**

DRAFT

# MARX/OKUBO & ASSOCIATES - NORTHEAST : Insurance Report

## DataVerify Flood Services

### *Determination Report*

DATE: 01/22/24

Account Number: INS 97900589

MARX/OKUBO &  
ASSOCIATES - NORTHEAST

Owner Name: 23-2104

Certified Street Address: 180 SCHOOL RD, WILTON, CT 06897-2527

Requester: Sarah Helmrich Phone#: 914-269-5700 Fax#: 914-269-5720

Policy Number: 240122135559439

Community Name: WILTON, TOWN OF

Community Status: Regular Program Type: Participating

Det ID: 559740457 Map Panel #: 09001C0383 F Community #: 090020 Panel Date: 06/18/10 Entry Date: 11/17/82

Det Date: 01/22/24 Flood Zone: X BFE: (Vertical Datum: ) LOMA/LOMR  DATE:

**Areas of minimal flooding. Areas determined to be outside 500 year flood plain.**

**This flood determination is provided to the lender pursuant to the flood disaster protection act and for no other purpose. It does not create any private cause of action on behalf of the Policy Holder against DataVerify Flood Services.**



Structures





# PHOTOGRAPHS

DRAFT



1 - Press box over the grandstand.



2 - Area adjacent to the building does not slope away from the retaining wall.



3 - Yard drains along the west wall of the team rooms are not readily accessible, obstructed by soil and debris.



4 - A crack was noted along the entire height of the retaining wall next to the south team room enclosure.



5 - Concrete floor is spalling along one of the entrances.



6 - Surface corrosion and peeling coating at the team rooms roof steel framing.



7 - Surface corrosion and peeling coating at the team rooms roof steel framing.



8 - Various metal panels along the Press Box enclosure have dents or have displaced.



9 - Metal panel dent has opened the joint between panels.



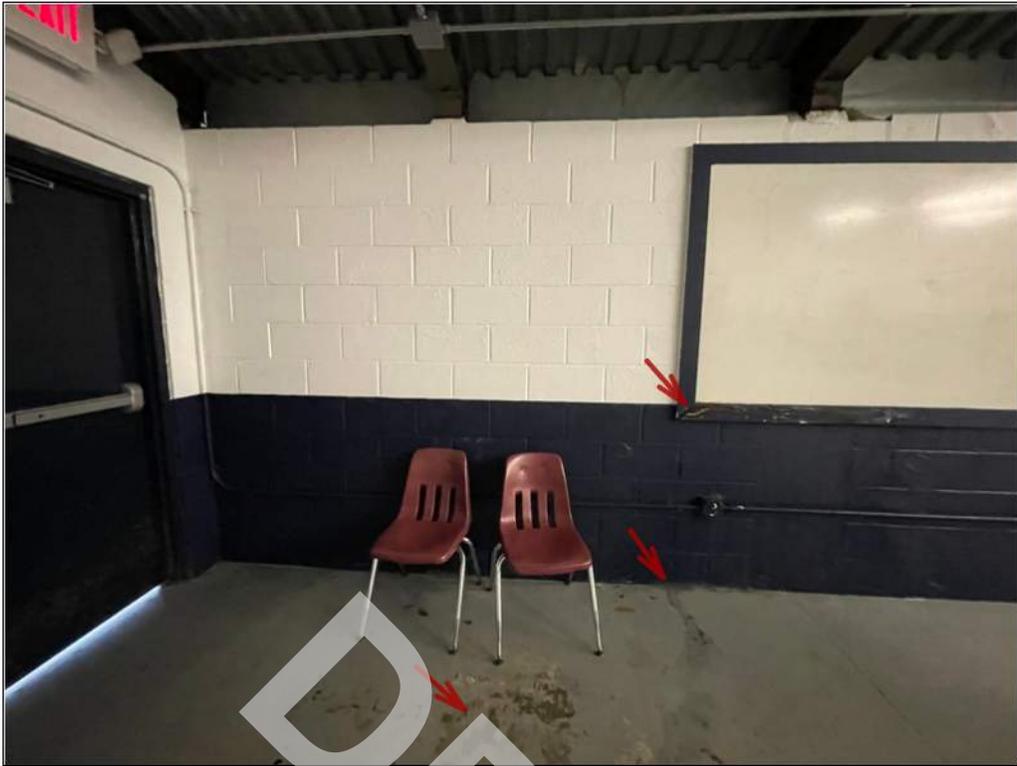
10 - Water from the grandstand is dripping along the team room CMU (Concrete Masonry Walls) and adjacent reinforced concrete walkway.



11 - Water from the grandstand is dripping along the team room CMU (Concrete Masonry Walls) and reinforced concrete structure.



12 - Water dripping from the grandstand is freezing along the concrete column surfaces.



13 - Water is seeping inside the north team room CMU and floor. White board wood trim has rotted.



14 - Visible signs of moisture and efflorescence are spreading along the interior surface of the CMU enclosure.



15 - Team Rooms: Door closer arm is bent.



16 - Metal surfaces along the frame and doors at the team rooms are starting to corrode.



17 - Press box wood door surfaces are deteriorating.



18 - A section of the chain link fence at the press room roof guardrail is broken.



19 - Localized cracks along the press box ceiling have occurred.



20 - Ceiling mounted electric unit heaters provide heating to the teams rooms.



21 - Recessed wall heaters provide heating to the press box.



22 - An electric storage type water heater located in the janitor's closet of each team room provides hot water to the building.



23 - A vent pipe on the exterior of one team room has broken and is currently disconnected.



24 - Water fountains are not provided with a firm surface for front approach.



25 - Accessible spaces are not provided adjacent to the accessible route leading to the stadium.

## FACILITY CONDITION ASSESSMENT

# MERWIN MEADOWS RESTROOMS & BARN

52 Lovers Lane  
Wilton, Connecticut



Prepared for:

**Town of Wilton**  
238 Danbury Road  
Wilton, Connecticut 06897  
Attention: Mr. Jeff Pardo  
jeff.pardo@wiltonct.org

Marx|Okubo Job No. 23-2104

February 2, 2024

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## 1.0 DEFICIENCIES AND RECOMMENDATIONS

Recommendations for remedial work addressing significant building deficiencies are included in this section. Recommendations are divided into *Immediate Work Items* and *Capital Work Items*.

The cost threshold for this project is \$3,000. Items that do not meet this threshold are excluded from our recommendations.

**Immediate Work Items:** Include items that correct safety and life-threatening building and/or fire code violations; items that, if left unrepaired over the next year, would result in serious damage to the building or its contents; and elements not compliant with federal accessibility regulations. These items should be undertaken on a priority basis taking precedence over routine preventive maintenance work.

**Capital Work Items:** Include items that are customarily repaired or replaced over several years due to economic considerations (e.g. paving, roofs, appliances), items which are currently in acceptable condition but will reach or exceed their useful economic service life during the term, and items that are periodic in nature but not considered normal maintenance (e.g. pavement seal coating, painting). Also included are significant energy-saving or operational improvements. These opinions of cost are generally based on industry-accepted life spans for these systems unless there are mitigating circumstances.

In addition, based on the Request for Qualifications/Proposals requirements, Marx|Okubo Associates, Inc. has assigned Facility Deficiency Priorities and Categories as follows:

Facility Deficiency Priorities:

- Priority 1 - Current Critical (Assigned to the Immediate Work items described above)
- Priority 2 - Potentially Critical
- Priority 3 - Necessary – Not Yet Critical
- Priority 4 - Recommended
- Priority 5 - Does not meet current codes/standards

Facility Deficiency Categories:

- Life Safety Code Compliance
- Building Code Compliance
- Building Integrity
- Appearance
- Energy
- Environmental

**IMMEDIATE REPAIR COST**

Prepared By: Marx|Okubo Associates, Inc.  
 Building(s) Gross Area (S.F.): 5063 Restroom 2,694 sf and Barn 2,369 sf  
 Property Age (Years): Restroom 53 / Barn Unknown Restrooms Renovation 1989

Date Prepared: February 2, 2024  
 Advisory Items are not included in the 10-year capital reserve schedule.

#	Item	QTY	Unit	Unit Cost	Replacement Percent	Immediate Total	Comments
<b>ENVELOPE AND EXTERIOR</b>							
1	Ⓢ Building Integrity - Barn: Stone stairs, landing, and wood handrails along the east side of the barn are uneven and in poor condition. Repair steps, landings, and provide handrails and support on both sides of the stairs.	1	LS	\$15,000.00	100%	\$15,000	Priority 1 - Current Critical.
<b>MECHANICAL/ELECTRICAL/PLUMBING</b>							
2	Life Safety Code Compliance - Barn: Battery powered emergency lighting is provided throughout the building. Each light observed was tested to confirm it was functional. One of the emergency lights in the barn did not turn on when tested. Replace the non-functioning light with new. It is recommended to regularly test all emergency lights.	1	EA	\$1,000.00	100%	\$1,000	Priority 1 - Current Critical
3	Life Safety Code Compliance - Barn: Advisory - At the time of the site visit the fire alarm panel light reading "Trouble" was on. It is recommended to regularly check all fire alarm panels to ensure there are no problems within buildings or to systems.	0	EA	\$0.00	0%	\$0	Priority 1 - Current Critical.
4	Ⓢ Life Safety Code Compliance - Restroom: Exit signage is not illuminated. Provide new illuminated exit signage. Scope includes providing electric wiring.	2	EA	\$1,500.00	100%	\$3,000	Priority 1 - Current Critical.
<b>ACCESSIBILITY</b>							
5	ADA: Two accessible parking spaces were observed serving the site, one of which was missing signage. Marx Okubo could not confirm the total number of parking spaces. If a range of 51-75 parking spaces are provided, per ADA standards, a minimum of three accessible parking spaces are required, including one van-accessible parking spaces. Provide one van accessible parking space and complaint signage.	1	LS	\$1,300.00	100%	\$1,300	Priority 1 - Current Critical.
6	ADA: Currently a gravel path is provided to access all the activities and facilities provided, which is non complaint. A firm surface from the parking lot to the Merwin Meadow Restrooms facility, playgrounds, grilling stations, soccer fields, and picnic pavilion should be provided. Provide access paths to facilitate an accessible route to all activities and facility provided. Scope of work could include a firm walkway.	1,000	EA	\$110.00	100%	\$110,000	Priority 1 - Current Critical.
7	ADA: Currently, a raised concrete platform is provided to access the men's restroom and the door entrance is higher than the allowable height. Provide an access path to facilitate an accessible route to the restroom. Work could include altering landings or a ramp.	1	EA	\$15,000.00	100%	\$15,000	Priority 1 - Current Critical.
8	ADA: The ramp at the Merwin Meadows Restroom does not provide edge protection on both sides, handrail extension at the bottom of the ramp, and a complaint bottom landing. Perform alterations to meet compliance.	1	LS	\$5,000.00	100%	\$5,000	Priority 1 - Current Critical.

#	Item	QTY	Unit	Unit Cost	Replacement Percent	Immediate Total	Comments
9	ADA: The Merwin Meadows Restrooms provide a women and men's multi-user restroom, which were noted to have various non compliant items. Items include missing scald guard protection under the sinks, accessible stalls and urinals not provided, and mirrors mounted above complaint height. Perform alterations to meet compliance.	2	EA	\$10,000.00	100%	\$20,000	Priority 1 - Current Critical.
Total Repair Cost						\$170,300	

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**CAPITAL RESERVE SCHEDULE**

Prepared By: Marx|Okubo Associates, Inc.  
 Building(s) Gross Area (S.F.): 5063 Restroom 2,694 sf and Barn 2,369 sf  
 Property Age (Years): Restroom 53 / Barn Unknown Restrooms Renovation 1989

Date Prepared: February 2, 2024  
 Term: 10  
 Inflation Rate: 4%

Footnotes: <sup>1 2 3 4</sup>

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
<b>PROPERTY SUMMARY</b>																		
1	Advisory - Barn: It was reported that the barn building and space provided within do not meet the Parks And Recreations needs. It is recommended to perform a space assessment study to evaluate the needs, and study relocation or expansion possibilities.	1	LS	\$15,000.00			\$15,000										\$15,000	Priority 4 - Recommended.
<b>SITE</b>																		
2	Appearance: Asphalt paved drive lanes and a parking area are provided at the site. The age of the paving is unknown and was observed to generally be in good condition with instances of cracking at isolated areas. A budget is recommended for an overlay, cracking sealing, and striping at the beginning of the term and then restriping later in the term.	1	LS	\$80,000.00	10	8		\$68,000						\$12,000			\$80,000	Priority 4 - Recommended.
3	<b>P</b> Building Integrity - Bathrooms: It was reported that the Norwalk River, which runs north of the bathrooms building, has eroded portions of the adjacent area. The property is located in Flood Zone AE; areas of 100-year flood; based flood elevations and flood hazard factors determined, as shown on Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map(FIRM) Panel No. 09001C0383F, having an effective date of June 18, 2010. Engage the services of a qualified engineer to review the condition and provide recommendations to protect the building.	1	LS	\$10,000.00			\$10,000										\$10,000	Priority 3 - Necessary - Not Yet Critical.
4	Building Integrity - Bathrooms - Advisory: Based on the results of the engineering site study, perform the recommended work. The budget will depend on the specific solution. Scope of work may include natural vegetation, soil erosion mats, coir logs or gabions, engineering fees for design and supervision of the work.	150	LF	\$400.00			\$0										\$0	Priority 2 - Potentially Critical.
<b>STRUCTURE</b>																		
5	No significant issues were noted or reported.	1	LS	\$0.00			\$0										\$0	
<b>ENVELOPE AND EXTERIOR</b>																		
6	<b>P</b> Building Integrity - Bathrooms: The roof atop the structure consists of architectural asphalt shingles. No documentation was provided regarding the age of the roof, however, it is reportedly original to the building and appears to have reached the end of its useful life. Replace asphalt shingle roof.	2,000	SF	\$10.00	30	29	\$20,000										\$20,000	Priority 3 - Necessary - Not Yet Critical.
7	<b>P</b> Building Integrity - Bathrooms: A Retractable fabric awning is provided at the office entrance. The fabric appears to be in poor condition. Replace the fabric when it reaches the end of it's useful life.	1	LS	\$3,000.00	10	8	\$3,000										\$3,000	Priority 4 - Recommended.
8	<b>P</b> Building Integrity - Barn: Roof gutters and leaders around the perimeter of the barn are in poor condition with broken and missing gutters and leaders. Repair and replace damaged gutters and leaders.	1	LS	\$10,000.00			\$10,000										\$10,000	Priority 2 - Potentially Critical.

1. Opinions of cost are based on limited observations of readily observable conditions and available documentation. Determination of actual costs require competitive bidding by qualified contractors on a scope of work that may require development of repair documents by a qualified engineer or architect.  
 2. Marx|Okubo is not an environmental consultant or evaluator of pest infestation. Opinions of cost exclude abatement of hazardous materials or remediation of pest infestations unless otherwise noted.  
 3. This cost table is a supplementary document to the report and should be reviewed in conjunction with the full report and exhibits.  
 4. Marx|Okubo's standard inflation rate for the purposes of the Capital Reserve Schedule is 3%. At the request of the Town of Wilton, the rate has been adjusted to 4%.

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
9	Ⓟ Building Integrity - Barn: The barn exterior cladding consists of painted wood planks. Localized areas are in poor condition. Damages include missing and broken wood plank. Perform localized repairs.	500	SF	\$15.00			\$7,500										\$7,500	Priority 3 - Necessary - Not Yet Critical.
10	Ⓟ Appearance - Barn: After localized repairs to the exterior cladding have been completed, prepare all surfaces and paint throughout. Scope includes installing temporary scaffolding to complete all surfaces.	4,500	SF	\$8.00	10	9	\$36,000										\$36,000	Priority 4 - Recommended.
11	A budget is provided for general contractor overhead, profit, general conditions associated to the envelope and exterior.	1	LS	\$19,000.00			\$19,000										\$19,000	
12	A budget is provided for architectural/engineering fees associated to the envelope and exterior.	1	LS	\$12,000.00			\$12,000										\$12,000	
13	A budget is provided for design and construction contingencies associated to the envelope and exterior.	1	LS	\$8,000.00			\$8,000										\$8,000	
<b>INTERIOR IMPROVEMENTS</b>																		
14	Appearance: Given the use of the Merwin Meadows Barn, interior finishes were observed to generally be in fair to good condition. Phased replacement of interior improvements is recommended as conditions warrant due to wear and tear with age. The budget assumes approximately 20% of the total square feet. Interior finishes consist of painted gypsum wall and ceiling boards; and tile floors.	450	SF	\$100.00	7	2					\$15,000	\$15,000	\$15,000				\$45,000	Priority 3 - Potentially Critical.
15	Appearance - Restrooms: Given the use of the Merwin Meadows Restrooms, interior finishes were observed to generally be in fair to good condition. Phased replacement of interior improvements is recommended as conditions warrant due to wear and tear with age. The budget assumes approximately 20% of the total square feet. Interior finishes consist of painted masonry walls, painted gypsum ceiling boards, and painted slabs	500	SF	\$100.00	7	2					\$50,000						\$50,000	Priority 3 - Potentially Critical.
<b>MECHANICAL/ELECTRICAL/PLUMBING</b>																		
16	Building Integrity - Barn: An oil fired furnace provides heating to the barn building. The furnace is located in a closet of the barn, and has a capacity of 150,000 British Thermal Units (BTU) per hour. The furnace was installed in 2005 and reportedly functions properly and appears to be in fair condition. Replacement of the furnace is recommended as it reaches the end of its service life or as maintenance costs dictate. The budget includes a replacement in kind of the furnace with the reuse of all associated piping. The furnace was manufactured by Rheem.	1	EA	\$15,000.00	18	16		\$15,000									\$15,000	Priority 3 - Necessary - Not Yet Critical
17	Building Integrity - Barn/Restrooms: Advisory - Cooling: Neither building is provided with a cooling system. Adding a cooling system could increase occupant comfort in the office/sitting areas of each building. Adding a cooling system could cost on the order of magnitude of \$5,000 in the restroom building and \$15,000 in the barn building. These estimated budgets include a new cooling only split system, which includes an outdoor condensing unit, indoor fan coil unit, and new refrigerant lines.	2	EA	\$0.00	1	0	\$0										\$0	Priority 4 - Recommended
18	Building Integrity - Restroom/Barn: The restroom facility has a 50-gallon electric water heater located in the mechanical room of the building. The barn has an 80-gallon electric water heater located in a closet of the building. Replace the water heaters when they reach the end of their service life or as maintenance costs dictate. The budget includes a replacement in kind with the reuse of all associated piping and electrical wiring. The water heaters were manufactured by AO Smith and Rheem.	2	EA	\$3,000.00	10	5	\$3,000							\$3,000			\$6,000	Priority 3 - Necessary - Not Yet Critical
19	Building Integrity - Restroom/Barn: Eversource provides electrical service to each building. The buildings do not have any history of infrared scans being performed. It is recommended to engage a qualified contractor to perform a preliminary infrared scan of the primary electrical distribution equipment to identify potential electrical system issues. Infrared scans are recommended to become part of each building's annual preventative maintenance in order to detect electrical issues.	2	EA	\$3,000.00	3	2	\$6,000										\$6,000	Priority 4 - Recommended

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
<b>ACCESSIBILITY</b>																		
20	ADA: Merwin Meadows Barn does not offer public programs, activities, or services; therefore, it is not covered by the ADA.	0	EA	\$0.00	0	0	\$0										\$0	Priority 5 - Does not meet current codes/standards.
21	ADA: See the Town Hall cost table for the recommendation on the Transition Plan.	0	EA	\$0.00	0	0	\$0										\$0	Priority 4 - Recommended

Total (Uninflated)							\$149,500	\$83,000	\$0	\$0	\$15,000	\$65,000	\$15,000	\$15,000	\$0	\$0	\$342,500	
Inflation Factor (4.0%)							1.0	1.04	1.082	1.125	1.17	1.217	1.265	1.316	1.369	1.423		
Total (inflated)							\$149,500	\$86,320	\$0	\$0	\$17,548	\$79,082	\$18,980	\$19,739	\$0	\$0	\$371,169	

Evaluation Period:	10
# of Square Feet:	5,063
Reserve per Square Feet per year (Uninflated)	\$7
Reserve per Square Feet per year (Inflated)	\$7

## 2.0 EXHIBITS

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# **FLOOD PLAIN DETERMINATION REPORT**

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# MARX/OKUBO & ASSOCIATES - NORTHEAST : Insurance Report

## DataVerify Flood Services

### *Determination Report*

**DATE: 12/18/23**

**Account Number: INS 97900589**

**MARX/OKUBO &  
ASSOCIATES - NORTHEAST**

Owner Name: 23-2104

Certified Street Address: 34 LOVERS LANE, WILTON, CT 06897

Requester: Sarah Helmrich Phone#: 914-269-5700 Fax#: 914-269-5720

Policy Number: 231218142456887

Community Name: WILTON, TOWN OF

Community Status: Regular Program Type: Participating

Det ID: 457216624 Map Panel #: 09001C0383 F Community #: 090020 Panel Date: 06/18/10 Entry Date: 11/17/82

Det Date: 12/18/23 Flood Zone: AE BFE: 188 (Vertical Datum:NAVD88) LOMA/LOMR  DATE:

MULTIPLE STRUCTURES IN MULTIPLE ZONES ON PARCEL. ADDITIONAL INFO REGARDING STRUCTURES TO BE DETERMINED REQUIRED.

**Areas of 100-year flood; base flood elevations and flood hazard factors determined**

**This flood determination is provided to the lender pursuant to the flood disaster protection act and for no other purpose. It does not create any private cause of action on behalf of the Policy Holder against DataVerify Flood Services.**



<b>Flood Zones Legend</b>	 A Values	 X500 /SHX / B	 X / C
	 D / NMA	 V Values	 Street

**Determination Id :** 457216624  
**Certified Address :** 34 LOVERS LANE, WILTON, CT 06897  
**Flood Zone :** AE  
**Base Flood Elevat :** 188 (Vert Datum:NAVD88)  
**FEMA Map Panel Number :** 09001C0383 F  
**FEMA Map Panel Eff. Date :** 06/18/10  
**Coast CBRA Date :**  
**LOMA LOMR Date :**  
**Distance To 100/500 :**  
**Flood Zone**

DISCLAIMER: THIS MAP IMAGE IS PROVIDED AS A VISUAL AID WITHOUT ANY WARRANTIES OR GUARANTEES; IT DOES NOT CREATE ANY PRIVATE CAUSE OF ACTION ON BEHALF OF THE BORROWERS OR INSURED PROPERTY OWNERS AGAINST THE FLOOD DETERMINATION PROVIDER. DISTANCE TO 100/500 YEAR FLOOD AREA IS AN APPROXIMATION CALCULATED FROM GEOCODING TECHNOLOGY AND IS NON-GUARANTEED.

# PHOTOGRAPHS

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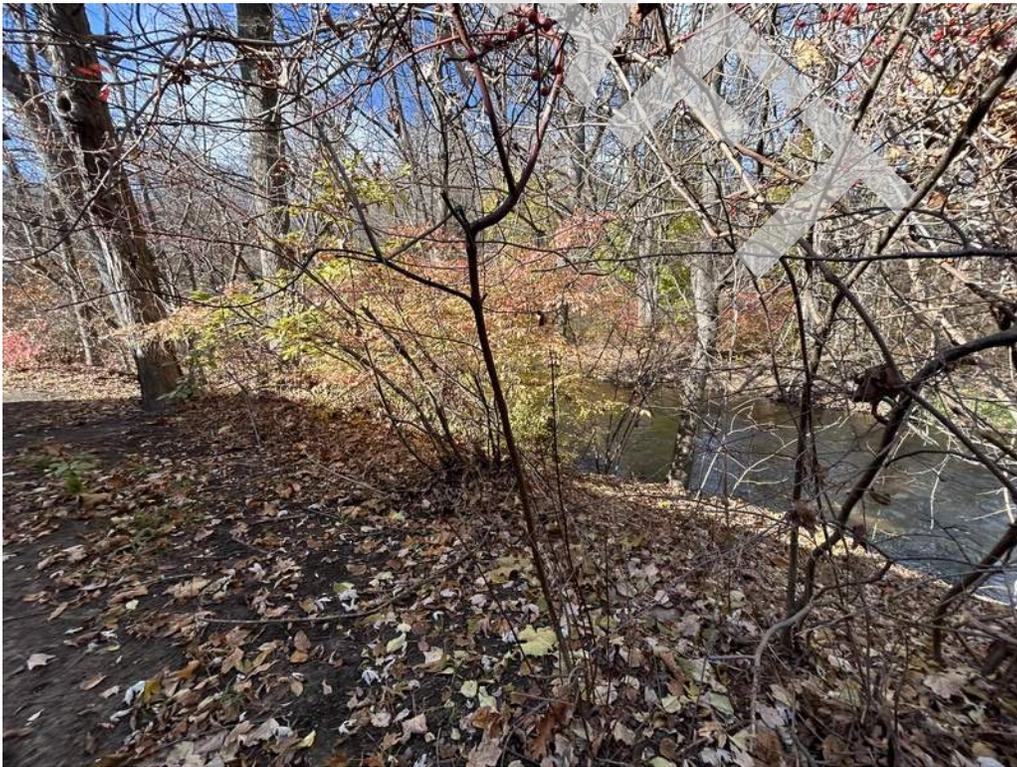
1 - Barn at east side with surface parking.



2 - Lifeguard office and restroom facility.



3 - An asphalt paved parking lot is provided at the site.



4 - Bathrooms: Norwalk River running north of the bathrooms building.



5 - Restrooms: Roof over the restrooms consists of asphalt shingles, walls consist of painted concrete masonry units and wood cladding.



6 - Restrooms: A retractable fabric awning sits atop the asphalt shingles. Fabric is ripped.



7 - Barn: A roof leader is missing along the west side of the barn.



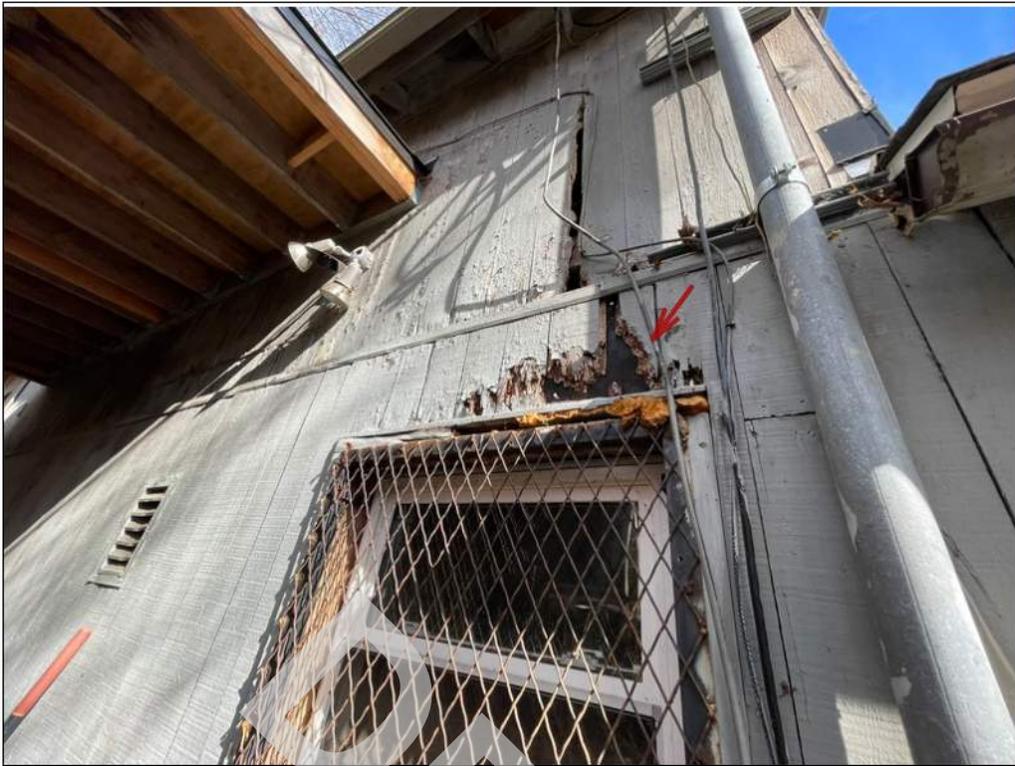
8 - Barn: Paint over, the wood cladding is peeling.



9 - Barn: Wood plank facade is in poor condition, including broken wood planks.



10 - Barn: Close up view of damaged wood and paint finish.



11 - Barn: Localized areas of the wood cladding are rotting.



12 - Barn: Rock stair and landing are in poor condition; surfaces are uneven and a second handrail is not provided.



13 - Barn: Rock stair is uneven, and does not have a second handrail.



14 - Barn: Interior finishes consist of painted gypsum wall and ceiling boards and painted slabs.



15 - Restrooms: Interior finishes consist of painted masonry walls, painted gypsum ceiling boards, and painted slabs.



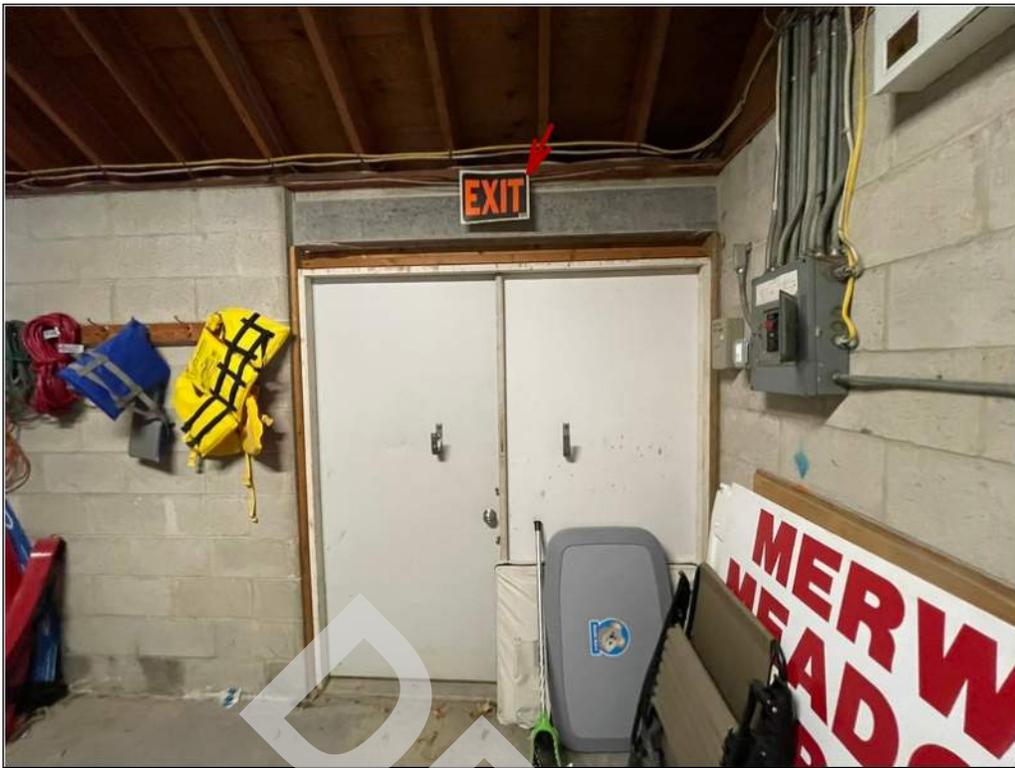
16 - Barn: An oil-fired furnace provides heating to the barn building.



17 - The barn and restroom facility are each provided with an electric storage-type water heater which provides hot water to each building.



18 - Barn: The building is provided with a Fire-Lite MS-5UD fire alarm panel located in the main room of the building. The panel's "Trouble" light was on at the time of the site visit.



19 - Restrooms: Exit sign is not an illuminated sign.



20 - Missing signage was observed at the accessible parking space.



21 - An accessible route is not provided to the lake.



22 - Restrooms: The ramp at the Merwin Meadows Restroom does not provide edge protection on both sides, handrail extension at the bottom of the ramp, and a compliant bottom landing.



23 - Restrooms: An accessible route to the men's restroom is not provided.



24 - Restrooms: Accessible stalls and urinals are not provided.



25 - Restrooms: Scald guard protection is not provided under the sinks.



26 - A firm surface route from the parking lot to the Merwin Meadow playgrounds and picnic pavilion are not provided.



27 - A firm surface route from the parking lot to the Merwin Meadow Restrooms facility is not provided.

## FACILITY CONDITION ASSESSMENT

# G&B CULTURAL CENTER

49 New Street  
Wilton, Connecticut



Prepared for:

**Town of Wilton**  
238 Danbury Road  
Wilton, Connecticut 06897  
Attention: Mr. Jeff Pardo  
jeff.pardo@wiltonct.org

Marx|Okubo Job No. 23-2104

February 2, 2024

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## 1.0 DEFICIENCIES AND RECOMMENDATIONS

Recommendations for remedial work addressing significant building deficiencies are included in this section. Recommendations are divided into *Immediate Work Items* and *Capital Work Items*.

The cost threshold for this project is \$3,000. Items that do not meet this threshold are excluded from our recommendations.

***Immediate Work Items:*** Include items that correct safety and life-threatening building and/or fire code violations; items that, if left unrepaired over the next year, would result in serious damage to the building or its contents; and elements not compliant with federal accessibility regulations. These items should be undertaken on a priority basis taking precedence over routine preventive maintenance work.

***Capital Work Items:*** Include items that are customarily repaired or replaced over several years due to economic considerations (e.g. paving, roofs, appliances), items which are currently in acceptable condition but will reach or exceed their useful economic service life during the term, and items that are periodic in nature but not considered normal maintenance (e.g. pavement seal coating, painting). Also included are significant energy-saving or operational improvements. These opinions of cost are generally based on industry-accepted life spans for these systems unless there are mitigating circumstances.

In addition, based on the Request for Qualifications/Proposals requirements, Marx|Okubo Associates, Inc. has assigned Facility Deficiency Priorities and Categories as follows:

Facility Deficiency Priorities:

- Priority 1 - Current Critical (Assigned to the Immediate Work items described above)
- Priority 2 - Potentially Critical
- Priority 3 - Necessary – Not Yet Critical
- Priority 4 - Recommended
- Priority 5 - Does not meet current codes/standards

Facility Deficiency Categories:

- Life Safety Code Compliance
- Building Code Compliance
- Building Integrity
- Appearance
- Energy
- Environmental

**IMMEDIATE REPAIR COST**

Prepared By: Marx|Okubo Associates, Inc.  
 Building(s) Gross Area (S.F.): 12,500  
 Property Age (Years): 109

Date Prepared:

February 2, 2024

Renovated in 2000 (Dates for additional renovations not provided)

Advisory Items are not included in the 10-year capital reserve schedule.

#	Item	QTY	Unit	Unit Cost	Replacement Percent	Immediate Total	Comments
<b>MECHANICAL/ELECTRICAL/PLUMBING</b>							
1	Life Safety Code Compliance: Battery powered emergency lighting is provided throughout the building. Each light observed was tested to confirm it was functional. Four of the emergency lights did not turn on when tested. Replace the non-functioning light with new lights. It is recommended to regularly test all emergency lights.	4	EA	\$1,000.00	100%	\$4,000	Priority 1 - Current Critical.
<b>CODE REVIEW</b>							
2	Life Safety Code Compliance: Advisory - Egress exit from the doors along the north end of the building were obstructed by objects being stored. Remove all obstructions along the egress path. Removing the obstructions may be done by the Town personnel, therefore, no budget is provided.	0	EA	\$0.00	0%	\$0	Priority 1 - Current Critical.
<b>ACCESSIBILITY</b>							
3	ADA: One accessible pole-mounted parking signage, mounted below compliant height, was observed at each parking area (front and side parking area). Striping is not provided at the parking areas, therefore Marx Okubo could not confirm the total number of parking spaces. If a range of 1-25 parking spaces are provided at each parking area, per ADA standards, a minimum of one van-accessible parking space is required. Provide one designated van accessible parking space at each parking area and remount signage to the required minimum height.	2	EA	\$1,000.00	100%	\$2,000	Priority 1 - Current Critical.
4	ADA: Door hardware was observed to be orbital at a high percentage of spaces. Replace with lever type hardware to meet compliance.	1	LS	\$3,000.00	100%	\$3,000	Priority 1 - Current Critical.
5	ADA: Interior signage is not provided throughout the facility. Provide compliant signage including wayfinding signage to accessible routes and entrance. Signage is required to have raised contrast lettering and braille and be mounted within the ADA tolerance range.	1	LS	\$4,000.00	100%	\$4,000	Priority 1 - Current Critical.
6	ADA: No accessible restroom is provided at the ground floor. The single-user restroom that is designated as accessible does not meet full ADA compliance as the minimum toilet clearance is not provided, grab bars are mounted below the complaint range, door threshold is above the allowable height, and maneuvering clearances are not provided. Provide an accessible single-user restroom to serve the first floor.	1	LS	\$30,000.00	100%	\$30,000	Priority 1 - Current Critical.
7	ADA: The kitchen was noted to have various non-compliant items. Items include knee and toe clearance at the sink, non-complaint stove top, and a work station at the required height is not provided. Perform alterations to meet compliance. Budget to include replacing the existing double ovens which reportedly have not been operable for several years.	1	LS	\$8,000.00	100%	\$8,000	Priority 1 - Current Critical.

#	Item	QTY	Unit	Unit Cost	Replacement Percent	Immediate Total	Comments
8	ADA: The minimum clear width required is not provided at the accessible entrance door. Remove the existing door leaves and install new door and leaf to meet compliance.	1	LS	\$6,000.00	100%	\$6,000	Priority 1 - Current Critical.
9	ADA: Light switches were observed to be mounted above reach range at approximately 10 locations. Remount light switches to compliant height.	10	EA	\$600.00	100%	\$6,000	Priority 1 - Current Critical.
Total Repair Cost						\$63,000	

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### CAPITAL RESERVE SCHEDULE

Prepared By: Marx|Okubo Associates, Inc.  
 Building(s) Gross Area (S.F.): 12,500  
 Property Age (Years): 109 Renovated in 2000 (Dates for additional renovations not provided)

Date Prepared: February 2, 2024  
 Term: 10  
 Inflation Rate: 4%

Footnotes: <sup>1 2 3 4</sup>

Advisory Items are not included in the 10-year capital reserve schedule.

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
<b>SITE</b>																		
1	Appearance: An asphalt paved parking area is provided at the side of the building. The age of the paving areas is unknown and was noted to exhibit varying levels of deterioration. Phased milling, resurfacing, and striping of the paved parking areas is recommended early in the term. Levels of deterioration include alligator cracking throughout. Budget also includes striping the front asphalt paved parking areas.	10,500	SF	\$6.00	25	24	\$63,000										\$63,000	Priority 3 - Necessary - Not Yet Critical.
2	Appearance: Repair local subgrade deterioration at asphalt pavement as identified during milling and repaving work at the additional parking areas, as noted in the line item above. The budget includes 10% of the paved asphalt areas.	1,050	SF	\$10.00	0	0	\$10,500										\$10,500	Priority 3 - Necessary - Not Yet Critical.
3	Appearance: Sidewalks consist of cast-in-place concrete or asphalt. Instances of cracking, deterioration, and organic growth was observed throughout. A budget is recommended to remove and replace damaged paved areas. The budget also includes periodic repairs of the sidewalks as materials deteriorate with age. The budget includes approximately 15% of the sidewalks and curbing for each occurrence.	500	SF	\$20.00	5	4	\$10,000					\$10,000					\$20,000	Priority 2 - Potentially Critical.
<b>STRUCTURE</b>																		
4	No significant issues were noted or reported.	0	LS	\$0.00			\$0										\$0	
<b>ENVELOPE AND EXTERIOR</b>																		
5	<b>F</b> Building Integrity: The roofing systems consists of a low slope roof EPDM (ethylene propylene diene terpolymer) membrane, and a sloped roof covered with clay roof tiles. The age and composition of the EPDM and underlayment systems could not be determined. Various deficiencies throughout the roofs were noted, including poor membrane installation, water ponding and ice formation, various instances of folded membrane, broken and displaced coping and roof ridge clay tiles. It was noted and reported that various instances of water intrusion occur during rain events. A phased comprehensive roof rehabilitation program is recommended. The first phase consists of engaging the services of a qualified professional to conduct the investigation to determine the composition and condition of the roof assemblies under the EPDM and roof tiles, locate water intrusion and prepare repair and replacement documents. The scope of work may include destructive and nondestructive testing and inspections.	1	LS	\$20,000.00			\$20,000										\$20,000	Priority 2 - Potentially Critical.

1. Opinions of cost are based on limited observations of readily observable conditions and available documentation. Determination of actual costs require competitive bidding by qualified contractors on a scope of work that may require development of repair documents by a qualified engineer or architect.  
 2. Marx|Okubo is not an environmental consultant or evaluator of pest infestation. Opinions of cost exclude abatement of hazardous materials or remediation of pest infestations unless otherwise noted.  
 3. This cost table is a supplementary document to the report and should be reviewed in conjunction with the full report and exhibits.  
 4. Marx|Okubo's standard inflation rate for the purposes of the Capital Reserve Schedule is 3%. At the request of the Town of Wilton, the rate has been adjusted to 4%.

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
6	Building Integrity: Based on the results of the investigation and the recommended repairs, perform a roof repair and replacement program. The scope of the repair and replacement could include removing and replacing all clay roof tiles, repairing or replacing the underlayment, removing the EPDM roofing membrane and providing a new membrane and insulation. Consideration could be given to replacing clay roof tiles with an alternative material with the same appearance such as plastic roof tiles.	12,500	SF	\$35.00			\$437,500										\$437,500	Priority 2 - Potentially Critical.
7	Building Integrity: Access to the roof is via a wooden ladder and a metal roof hatch door. The age of the roof ladder and roof hatch was not provided, however, they both appear to be in poor condition. The roof hatch hardware is damaged and the exposed metal surface is deformed. Remove existing wooden roof ladder and provide a new metal ladder. Remove existing roof hatch and provide a new unit. Scope of work may include the services of a professional engineer to review the ladder attachments and provide details.	1	LS	\$15,000.00			\$15,000										\$15,000	Priority 2 - Potentially Critical.
8	<b>P</b> Building Integrity: Metal roof gutters and leaders are provided around the perimeter of the roof. The age of the gutters and leaders was not provided, however, it was reported that the gutters overflow during high rain events, and sections of the system were noted to be in poor condition with various bent portions. Perform a roof gutter and leader rehabilitation program including debris removal, rectifying proper slope at the roof gutters and replacing any damaged sections of the system. The budget represents replacing approximately 50% of roof gutters.	250	LS	\$40.00			\$10,000										\$10,000	Priority 2 - Potentially Critical.
9	Energy: Portions of the low slope roof could be considered for the addition of photovoltaic (PV) solar panels. Engage the services of a registered Structural Engineer to perform an analysis to determine if the structure can support the added loads of a PV system as well as a qualified party to perform a feasibility study, including a solar analysis. Based on the results of a preliminary structural and solar analysis, consideration could be given to the addition of PV panels on the roof. The results of the analysis will determine the system's limitations and requirements. PV solar panels can provide the building with a renewable, clean source of energy.	1	LS	\$10,000.00			\$10,000										\$10,000	Priority 4 - Recommended.
10	Energy: Advisory - Based on the results of the feasibility study, install PV system. The cost could be in the order of \$15 to \$25 per square foot. Potential savings could be anticipated if rebate programs and/or incentives are available and if the project is considered at a portfolio level. The scope of work may include the installation of solar panels, wiring, inverters, electrical panels, and monitoring systems. The benefits of installing a PV system include reducing operational costs, protecting against power outages, and reducing carbon footprint. Installation of the system should be coordinated with the roof replacement program.	10,000	SF	\$25.00			\$0										\$0	Priority 4 - Recommended.
11	<b>P</b> Building Integrity: Joint sealant throughout the building is in poor condition. Remove and replace joint sealant throughout the building.	2,000	LF	\$10.00	10	9	\$20,000										\$20,000	Priority 2 - Potentially Critical.
12	<b>P</b> Building Integrity: Joint mortar at localized areas of the brick masonry and stone walls are deteriorating. Perform a brick and stone repointing program through the building. The budget represents repointing approximately 10% of the brick and stone. Budget includes using the use appropriate methods that are adequate for the age and type of brick and stone, and includes power-washing organic growth and debris, with non abrasive methods.	350	SF	\$30.00			\$10,500										\$10,500	Priority 2 - Potentially Critical.
13	<b>P</b> Building Integrity: It was noted and reported that multiple instances of water intrusion occur at the basement during rain events. Engage the services of a qualified architect/engineer to perform an investigation throughout the basement enclosure to determine the cause of the water intrusions and provide recommendations and repair documents.	1	LS	\$10,000.00			\$10,000										\$10,000	Priority 2 - Potentially Critical.

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
14	Building Integrity: Advisory - Based the results of the investigation and recommendations, perform the repairs. The scope of the work will be determined by the results of the investigation but could include the installation of a basement drainage system.	1	LS	\$75,000.00			\$0										\$0	Priority 2 - Potentially Critical.
15	<b>P</b> Building Appearance: The front entrance has a wall clock that appears to be original to the building. No information was provided regarding the condition or previous repairs, however, the clock does not keep time and appears to be in poor condition. Engage the services of a qualified vendor to refurbish the clock or provide new clock to recreate the appearance.	1	LS	\$10,000.00			\$10,000										\$10,000	Priority 4 - Recommended.
16	<b>P</b> Building Integrity/Energy: Based on information available from the Town of Wilton, 50 windows throughout the building were replaced in the year 2000 and appear to be in serviceable condition, but approaching the end of their useful life. Transom windows above doors around the building are single pane and do not appear to have been replaced during the replacement program. Transom windows have condensation and plastic window covers, which may be due to drafts and/or heat loss. Perform a phased window replacement of all units, starting with transom and other single pane units.	65	EA	\$5,000.00	30	25	\$75,000				\$250,000						\$325,000	Priority 2 - Potentially Critical.
17	<b>P</b> Building Integrity: A metal basement door is provided along the south side of the building. The age of the door was not provided, however, it was noted and reported that the door has openings and allows water to come into the basement. Remove and replace the basement door. Scope includes sealing and localized repairs to the substrate to properly install the door.	1	LS	\$10,000.00			\$10,000										\$10,000	Priority 2 - Potentially Critical.
18	<b>P</b> Building Integrity: Wood doors appear to be original to the building and are in fair to poor condition. Glass panes within the windows have been covered with plastic and have condensation, hardware such as closers and weather-stripping is in fair condition, wood surfaces are deteriorated. A comprehensive door refurbishment program is recommended. The scope of the refurbishment program may include replacing the glass pane, replacing damaged hardware, and refinishing each of the door leaves. Alternatively, new doors could be provided. South entrance door will need to be replaced for accessibility and is excluded from this budget. See accessibility section for additional details.	14	EA	\$5,000.00				\$70,000									\$70,000	Priority 3 - Necessary - Not Yet Critical.
19	<b>P</b> Building Integrity: Roof perimeter consists of painted wood trim and soffit. The wood throughout the soffit and trim is in poor condition with damages including rotting wood, missing sections and peeling paint. Perform a comprehensive wood trim and soffit refurbishment program. Scope of work may include removing and replacing rotted wood areas, infilling missing items, preparing for paint, and painting throughout. Work to be coordinated with the roof gutter repair and replacement program. Scope of work may include addressing possible presence of hazardous materials.	500	LF	\$80.00			\$40,000										\$40,000	Priority 2 - Potentially Critical.
20	<b>P</b> Appearance: Building facades include decorative pilaster stone capitals. Various instances of the capitals were missing, and some of the remaining capitals are in fair to poor condition and could be subject to disengaging from the façade. A phased plaster refurbishment program is recommended, to secure the existing capitals, repair or seal cracks, and finally replace missing capitals with Capital replacement scope may include molding.	6	EA	\$5,000.00			\$30,000										\$30,000	Priority 2 - Potentially Critical.
21	A budget is provided for general contractor overhead, profit, and general conditions associated to the envelope and exterior work scope, including roof repairs and replacement.	1	LS	\$200,000.00			\$120,000	\$15,000			\$65,000						\$200,000	
22	A budget is provided for general architectural/engineering fees associated with the envelope and exterior work.	1	LS	\$125,000.00			\$75,000	\$10,000			\$40,000						\$125,000	

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
23	A budget is provided for design and construction contingencies related to the envelope and exterior work.	1	LS	\$80,000.00			\$50,000	\$5,000			\$25,000						\$80,000	
24	Advisory: No reports of hazardous materials were provided, however, based on other buildings of similar age in the portfolio, the presence of hazardous materials is possible. Consideration could be given to providing a separate budget for test and abatement of exterior materials.	1	LS	\$0.00			\$0	\$0			\$0						\$0	Priority 2 - Potentially Critical.
<b>INTERIOR IMPROVEMENTS</b>																		
25	Appearance: Interior finishes were observed to generally be in fair to good condition. The age of the finishes is unknown; however, damaged wall and ceiling surfaces and finishes due to leaks were observed at localized areas throughout the building. Perform localized repairs early in the term following building enclosure repairs and continue with phased replacement of interior improvements as conditions warrant due to wear and tear with age. The budget assumes approximately 20% of the total square feet.	2,500	SF	\$100.00	7	6			\$50,000				\$50,000	\$50,000	\$50,000	\$50,000	\$250,000	Priority 3 - Potentially Critical
26	A budget is provided for general contractor overhead, profit, general conditions associated to interior renovations.	1	LS	\$62,500.00					\$12,500				\$12,500	\$12,500	\$12,500	\$12,500	\$62,500	
27	A budget is provided for architectural/engineering fees associated to the interior renovations.	1	LS	\$37,500.00					\$7,500				\$7,500	\$7,500	\$7,500	\$7,500	\$37,500	
28	A budget is provided for design and construction contingencies related to interior renovations.	1	LS	\$30,000.00					\$6,000				\$6,000	\$6,000	\$6,000	\$6,000	\$30,000	
29	Advisory: No reports of hazardous materials were provided, however, based on other buildings of similar age in the portfolio, the presence of hazardous materials is possible. Consideration could be given to providing a separate budget for test and abatement of interior materials.	0	LS	\$0.00					\$0				\$0	\$0	\$0	\$0	\$0	Priority 2 - Potentially Critical.
<b>MECHANICAL/ELECTRICAL/PLUMBING</b>																		
30	Building Integrity: The building is not currently provided with cooling. Portable air conditioning units are utilized for supplemental cooling within individual spaces. An upgrade to the building cooling system may result in better comfort and air quality; however, it could be invasive and will require engineering design, installation drawings, and general conditions. Engage an engineering firm to review existing conditions, determine necessary upgraded scope and equipment selections, and prepare design drawings for competitive bidding.	1	EA	\$30,000.00	1	0	\$30,000										\$30,000	Priority 4 - Recommended
31	Building Integrity: Advisory - Based on limited observation of the building's current systems, the cooling system could be upgraded in a variety of ways. Solutions could range from installing rooftop packaged units with variable air volume units to installing heat pump systems. The scope and budget required to upgrade the building's cooling system will be based on load calculations, engineering design, and equipment specifications referenced in the preceding line, but could be in the range of \$250,000.	35	TON	\$7,000.00	1	0	\$0										\$0	Priority 4 - Recommended
32	Building Integrity: The building is currently served by a septic tank which was reportedly installed in 1981. The team was informed that there is a sewer line in the street. It is recommended to remove the existing septic tank and connect the building's drain line to the sewer line located in the street. This work will require engineering design, installation drawings, and general conditions. Engage an engineering firm to review existing conditions, determine necessary upgraded scope, and prepare design drawings for competitive bidding.	1	EA	\$25,000.00	1	0	\$25,000										\$25,000	Priority 4 - Recommended
33	Building Integrity: The scope and budget required to upgrade the building's heating system will be based on load calculations, and engineering design and specifications referenced in the preceding line. The scope could include trenching, running new piping to the street, modifying drain piping within the building, and removal of the existing septic tank.	1	EA	\$100,000.00	1	0	\$100,000										\$100,000	Priority 4 - Recommended

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
34	Building Integrity: While on site, an employee informed the team of a clogging issue in one group of bathrooms. It is recommended to retain a contractor to perform a video pipe inspection of the drain piping in this area. This may help to identify the cause of the clogging and can provide additional information to review if drain cleaning is required or if piping repairs are required.	1	EA	\$5,000.00	1	0	\$5,000										\$5,000	Priority 4 - Recommended
35	Building Integrity: Advisory - Additional repairs to drain piping may be required based on the results of the video scope. The repairs could include replacement of sections of drain piping.	1	EA	\$0.00	1	0	\$0										\$0	Priority 4 - Recommended
36	Building Integrity: Eversource provides electrical service to the building. The building does not have any history of infrared scans being performed. It is recommended to engage a qualified contractor to perform a preliminary infrared scan of the primary electrical distribution equipment to identify potential electrical system issues. Infrared scans are recommended to become part of the building's annual preventative maintenance in order to detect electrical issues.	1	EA	\$5,000.00	3	2	\$5,000										\$5,000	Priority 4 - Recommended
37	Life Safety Code Compliance: The Miniscan 112 fire alarm panel was reportedly installed over 20 years ago and is obsolete. Replace the fire alarm panel. No fire alarm issues were reported by the client. The scope of work includes installation of a new fire alarm panel, reprogramming, and new fire alarm devices.	1	EA	\$35,000.00	20	19	\$35,000										\$35,000	Priority 2 - Potentially Critical
38	Life Safety Code Compliance: Smoke detectors are currently installed in the main room and hallways of the building. Fire alarm devices are not installed within individual classrooms in the building. An upgrade to the fire alarm system along with the installation of additional devices may be required to bring the building's life safety systems up to code. Engage an engineering firm to review existing conditions, determine necessary upgraded scope and equipment selections, and prepare design drawings for competitive bidding.	1	EA	\$15,000.00	1	0	\$15,000										\$15,000	Priority 2 - Potentially Critical
39	Life Safety Code Compliance: Advisory - Fire alarm devices are not currently installed within individual offices in the building. It's our understanding that installation of additional devices is required to bring the building's life safety systems up to code. The scope of this work, which will be based on the fire alarm drawings provided by the engineering design firm, may include the installation and hard wiring of new fire alarm devices in all areas of the building. The total cost of this work could be on an order of magnitude of \$50,000.	1	LS	\$50,000.00	1	0	\$0										\$0	Priority 2 - Potentially Critical
<b>ACCESSIBILITY</b>																		
40	ADA: See the Town Hall cost table for the recommendation on the Transition Plan.	0	EA	\$0.00	0	0	\$0										\$0	Priority 4 - Recommended

Total (Uninflated)	\$1,241,500	\$100,000	\$76,000	\$0	\$380,000	\$10,000	\$76,000	\$76,000	\$76,000	\$76,000	\$76,000	\$2,111,500
Inflation Factor (4.0%)	1.0	1.04	1.082	1.125	1.17	1.217	1.265	1.316	1.369	1.423		
Total (inflated)	\$1,241,500	\$104,000	\$82,202	\$0	\$444,546	\$12,167	\$96,164	\$100,011	\$104,011	\$108,172	\$2,292,772	

Evaluation Period:	10
# of Square Feet:	12,500
Reserve per Square Feet per year (Uninflated)	\$17
Reserve per Square Feet per year (Inflated)	\$18

## 2.0 EXHIBITS

DRAFT

# **FLOOD PLAIN DETERMINATION REPORT**

DRAFT

# MARX/OKUBO & ASSOCIATES - NORTHEAST : Insurance Report

## DataVerify Flood Services

### *Determination Report*

**DATE: 01/03/24**

**Account Number: INS 97900589**

**MARX/OKUBO &  
ASSOCIATES - NORTHEAST**

Owner Name: 23-2104

Certified Street Address: 49 NEW ST, WILTON, CT 06897

Requester: Sarah Helmrich Phone#: 914-269-5700 Fax#: 914-269-5720

Policy Number: 240103161916428

Community Name: WILTON, TOWN OF

Community Status: Regular Program Type: Participating

Det ID: 916723136 Map Panel #: 09001C0243 F Community #: 090020 Panel Date: 06/18/10 Entry Date: 11/17/82

Det Date: 01/03/24 Flood Zone: X BFE: (Vertical Datum: ) LOMA/LOMR  DATE:

**Areas of minimal flooding. Areas determined to be outside 500 year flood plain.**

**This flood determination is provided to the lender pursuant to the flood disaster protection act and for no other purpose. It does not create any private cause of action on behalf of the Policy Holder against DataVerify Flood Services.**



<b>Flood Zones Legend</b>	A Values	X500 /SHX / B	X / C
	D / NMA	V Values	Street

**Determination Id :** 916723136  
**Certified Address :** 49 NEW ST, WILTON, CT 06897  
**Flood Zone :** X  
**Base Flood Elevat :** N/A  
**FEMA Map Panel Number :** 09001C0243 F  
**FEMA Map Panel Eff. Date :** 06/18/10  
**Coast CBRA Date :**  
**LOMA LOMR Date :**  
**Distance To 100/500 :** 621.0 ft to X500  
**Flood Zone**

DISCLAIMER: THIS MAP IMAGE IS PROVIDED AS A VISUAL AID WITHOUT ANY WARRANTIES OR GUARANTEES; IT DOES NOT CREATE ANY PRIVATE CAUSE OF ACTION ON BEHALF OF THE BORROWERS OR INSURED PROPERTY OWNERS AGAINST THE FLOOD DETERMINATION PROVIDER. DISTANCE TO 100/500 YEAR FLOOD AREA IS AN APPROXIMATION CALCULATED FROM GEOCODING TECHNOLOGY AND IS NON-GUARANTEED.

# PHOTOGRAPHS

DRAFT



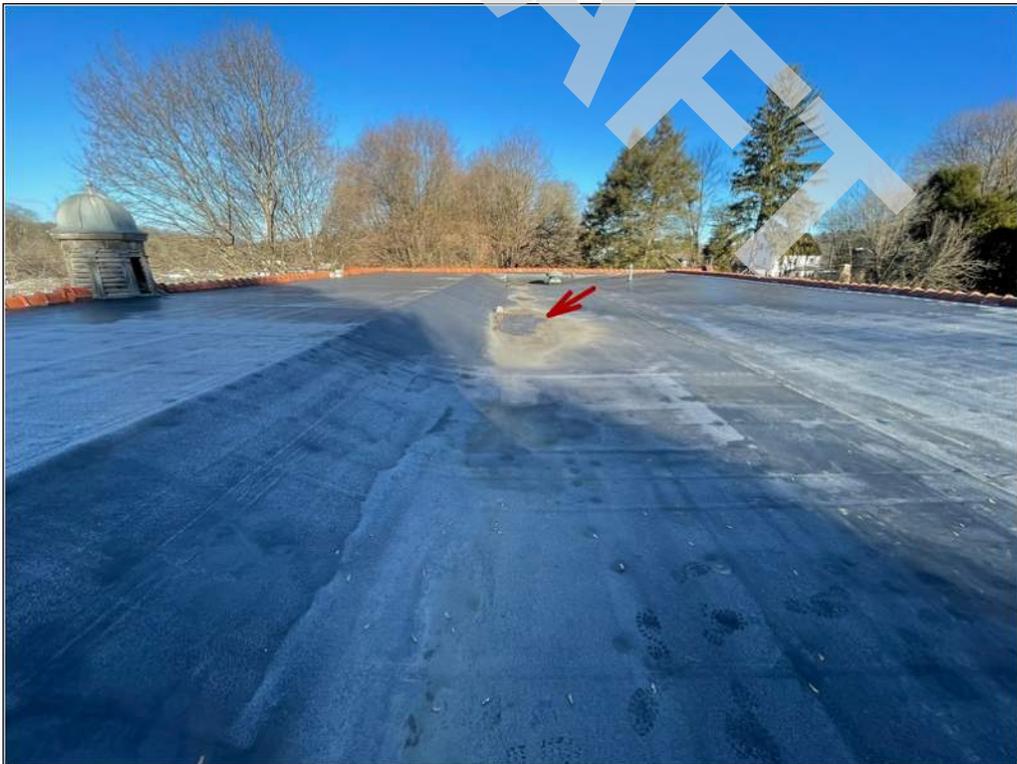
1 - Surface parking and main vehicular entrance at the north end of the site.



2 - The side asphalt paved parking area, along New Street, exhibits alligator cracking throughout.



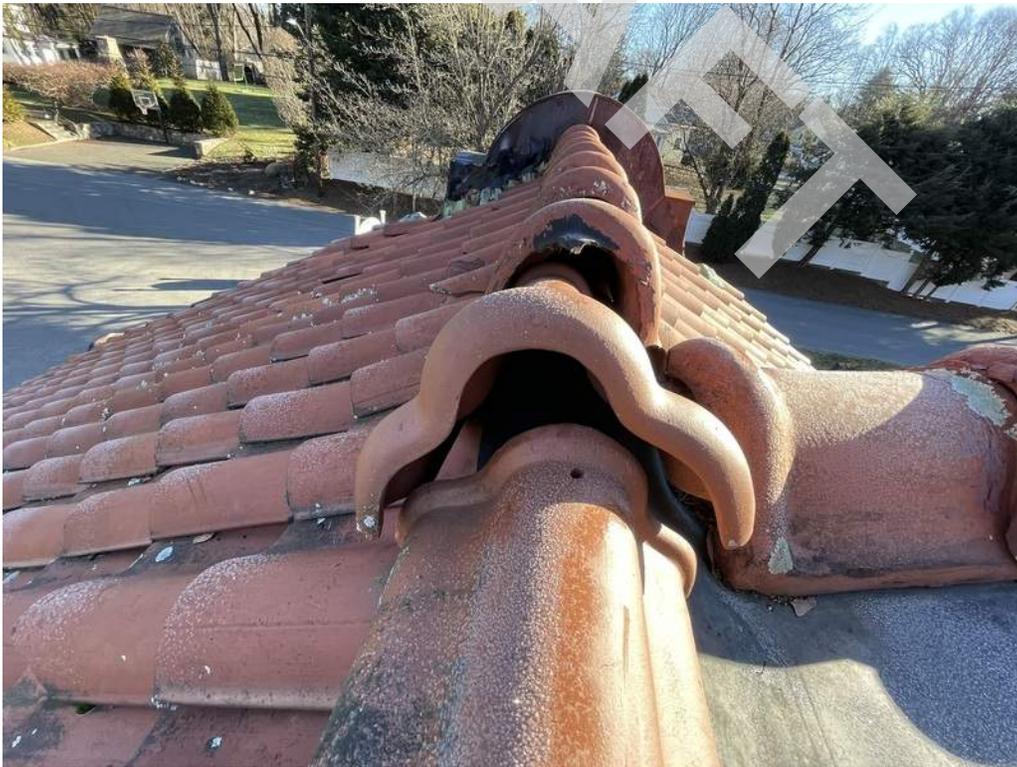
3 - Parking spaces in front of the building are not striped.



4 - Main roof consist of an EPDM (ethylene propylene diene terpolymer). Water ponding and debris accumulation was observed.



5 - Parapet coping consists of clay roof tiles with EPDM flashing and metal counterflashing. Clay roof tiles are in poor condition, some units are displaced and the EPDM parapet flashing is poorly installed.



6 - Coping clay roof tiles have displaced.



7 - Metal surfaces along the roof have corroded and have openings.



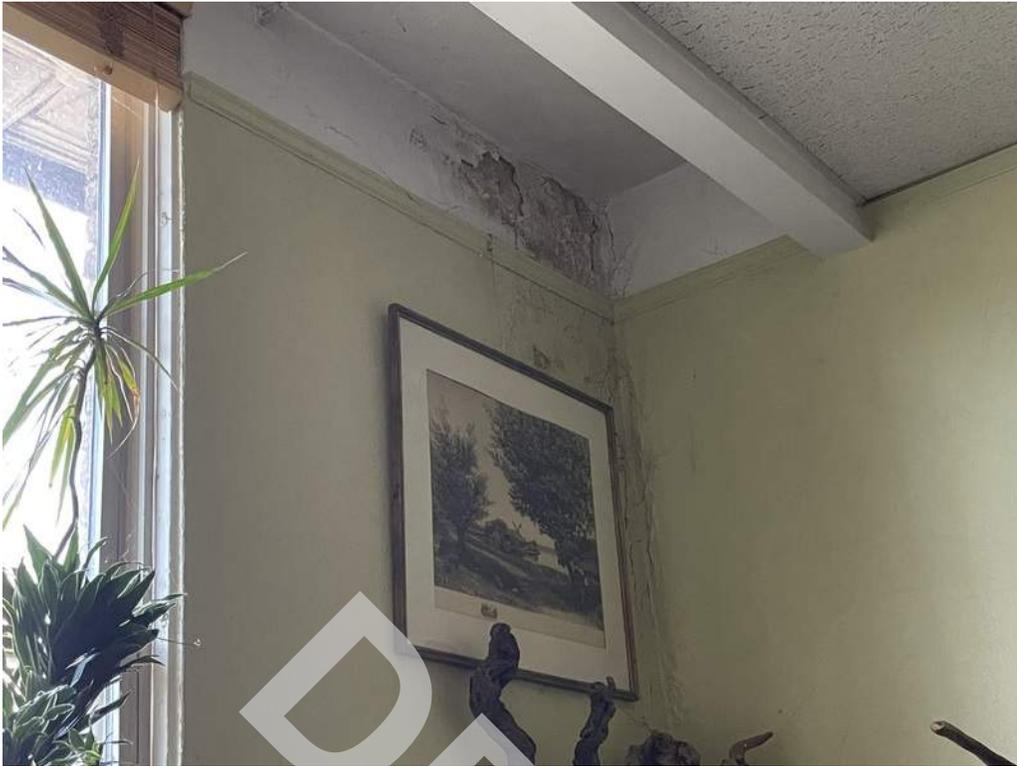
8 - Roof hatch is missing one hold open hardware and is in poor condition.



9 - Sections of the roof gutters are in poor condition and appear to be overflowing.



10 - Roof leader drain pipe extensions have failed.



11 - Water intrusion through the roof has damaged the interior surfaces.



12 - Signs of active roof leaks coming down from the ceiling at one of the art studios.



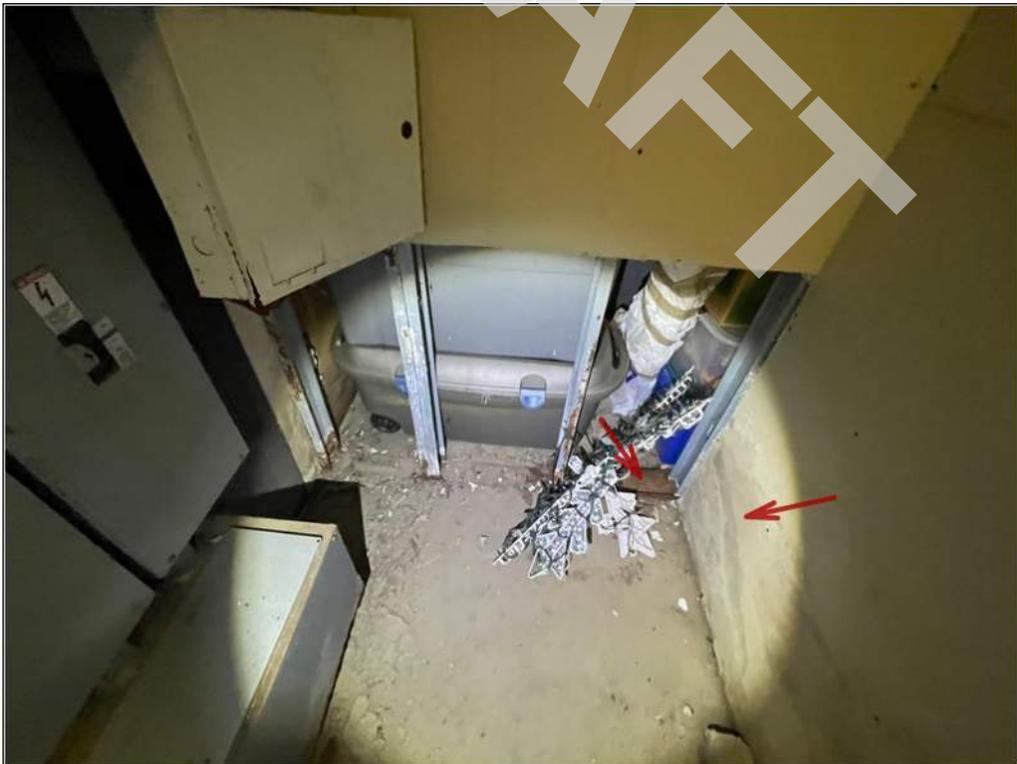
13 - Joint sealant along brick masonry openings has failed.



14 - Building clock is not working properly and appear to be in poor condition. Organic growth and build up stains are in the front facade stone.



15 - Localized areas of mortar joints are missing or are in poor condition along the masonry brick and stone facades. Areas of the stone and brick masonry have organic growth and debris accumulation.



16 - Basement wall surfaces and wall framing metal components have water stains and corrosion due to water intrusion instances.



17 - Single pane glass window unit above the door and on the door leaf have condensation and have been covered with window films to reduce draft.



18 - Main entry door consists of a wood framed single pane glass assembly.



19 - Wood surface and weatherstripping are in poor condition.



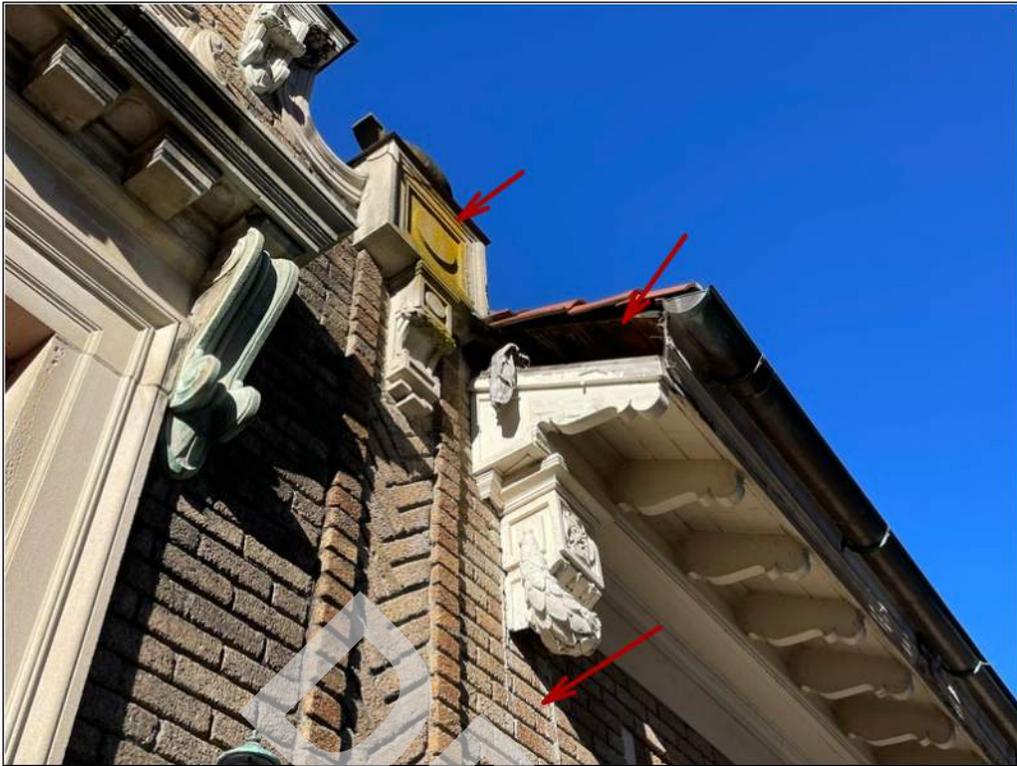
20 - Metal basement hatch door is in poor condition.



21 - Basement hatch door doesn't close properly and steps have signs of water intrusion.



22 - Wood soffits and trim around the roof have displaced and open joints; paint finishes are peeling; wood surfaces are rotting and have missing pieces.



23 - Areas of wood trim around the roof are missing. Portions of the pilaster capitals have broken and are missing. Areas of the stone pilaster have organic growth.



24 - Deteriorated paint was observed at the corner of Classroom 1AA.



25 - An oil fired boiler located in the basement provides heating and domestic hot water throughout the building.



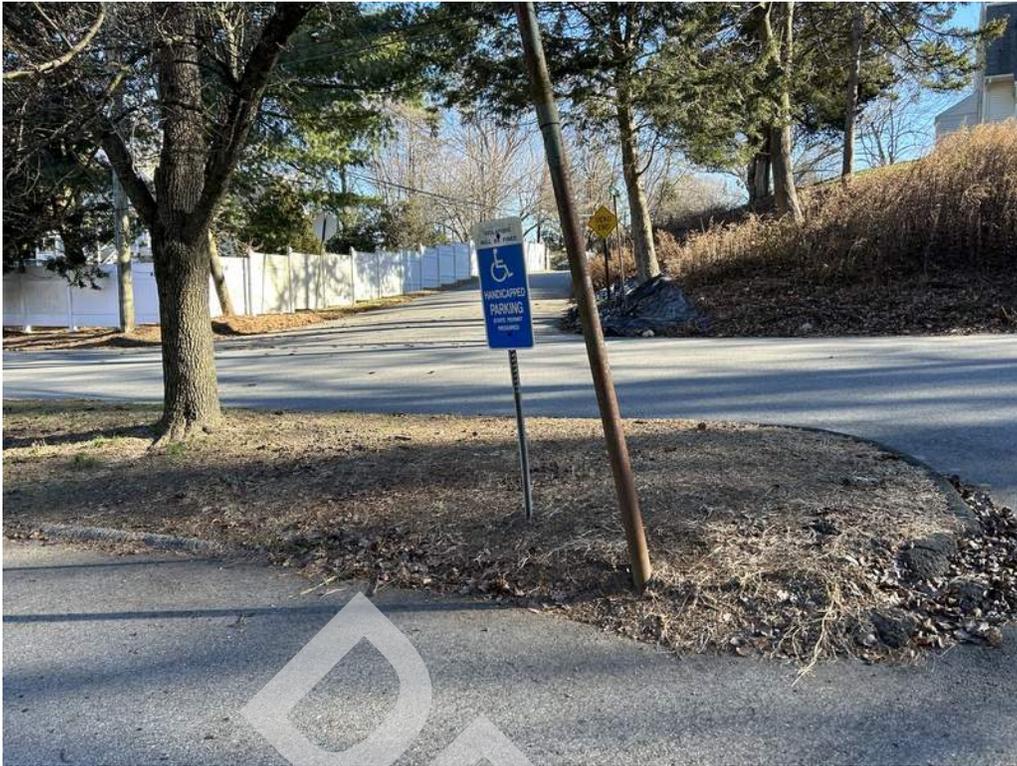
26 - Portable air conditioning units serving individual rooms provide cooling to portions of the building.



27 - The building is provided with a Miniscan 112 fire alarm panel.



28 - Stored chairs and cushions are blocking the egress.



29 - Pole mounted parking signage is mounted below compliant height and line striping is not provided.



30 - The minimum clear width is not provided at the accessible entrance door.



31 - The designated accessible single-user restroom is non compliant.



32 - A compliant work space, cook top, and knee and toe clearance at the sink is not provided at the kitchen.