



THE TOWN OF
WILTON
CONNECTICUT



WILTON PUBLIC SCHOOLS

Facilities Assessment & Ten-Year Long-Range Planning



November 2023





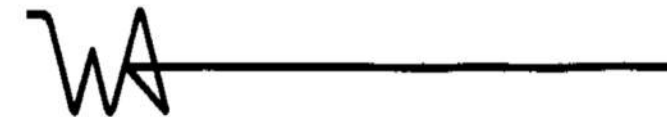
WILTON PUBLIC SCHOOLS

Facilities Assessment & Ten-Year Long-Range Planning

Planning Consultant Team



- KG+D Architects – Erik A. Kaeyer, AIA LEED AP
- CES Engineering – Brian Hamel/Team Leader
- Watsky Associates – Thomas Olam/President





WILTON PUBLIC SCHOOLS

Facilities Assessment & Ten-Year Long-Range Planning

Participating Town Administrators

- Lynne Vanderslice – First Selectwoman
- Matt Knickerbocker – Town Administrator
- Frank Smeriglio – Director of Public Works
- Jeff Pardo - Asst. Director of Public Works
- Robert Cipolla – Deputy Police Chief

Participating District Administrators

- Kevin J. Smith, Ph.D. - Superintendent of Schools
- Jose J. Figueroa – Supervisor Custodian
- Erik Haakonsen – Director of Technology

Participating School Administrators

- Robert W. O'Donnell – Principal, Wilton HS
- James F. Higgins – Principal, Middlebrook MS
- Nicole N. Querze – Dean, Middlebrook MS
- Jennifer Falcone – Principal, Cider Mill School



CIDER MILL SCHOOL



MIDDLEBROOK MIDDLE SCHOOL



WILTON HIGH SCHOOL



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Facilities Assessment & Ten-Year Long-Range Planning

THE DISTRICT: FACILITIES & INVESTMENT

- Comprised of four (4) Campuses
 - Miller Driscoll ES, Cider Mill ES, Middlebrook MS, Wilton HS
- This report focuses on Cider Mill, Middlebrook and the High School.
- Total Building Area = 800K GSF (670,603sf excludes MDES)
- Average Age of the Buildings = 60 years
- Last Major Improvement (average) = 24 years ago (excludes MDES)
- Approximate Replacement Value = \$540M (\$450M excludes MDES)
 - * Gross SF x \$675/sf Total Project Costs

TYPICAL BUILDING SYSTEM PHOTOS



CIDER MILL SCHOOL



MIDDLEBROOK MIDDLE SCHOOL



WILTON HIGH SCHOOL



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ASSESSMENT & PLANNING TASKS PERFORMED

- Reviewed Existing Plans and Reports
- Interviewed Administrators and Staff
- Visual Inspections of School Buildings & Site – Prioritize Health & Life Safety
 - Architectural & Structural Elements
 - Mechanical, Electrical, Plumbing/Fire Protection Systems, Security
 - Roof and Exterior Building Enclosure
- Prepared Written and Photographic Documentation – Focus on Infrastructure
- Code Review: Building Code, Fire, Energy, Accessibility Codes
- Prepared Budget Estimates and Draft Report

TYPICAL INTERIOR PHOTOS



CIDER MILL SCHOOL



MIDDLEBROOK MIDDLE SCHOOL



WILTON HIGH SCHOOL



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BUILDING CONDITION OVERVIEW

- School buildings and campuses are well maintained.
- Facilities staff quickly and effectively addresses issues. Three recent examples:
 - Condensation issue at Cider Mill ES
 - Moisture issue at Middlebrook MS
 - Sanitary system blockage at Wilton HS
- Administrative staff involved with the study have been collaborators.
- Most recommended replacement items are due to age related wear.
- Replacement versus continued maintenance has multiple benefits:
 - Avoids more expensive emergency projects
 - Often addresses building and/or energy code non-compliance
 - Reduces risk of annual repairs for planning term.

TYPICAL ROOFING PHOTOS



CIDER MILL SCHOOL



MIDDLEBROOK MIDDLE SCHOOL



WILTON HIGH SCHOOL



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PROJECT PRIORITIZATION

Category A

Priority 1: Life Safety

(Infrastructure related projects that need to be addressed within 0-2 years)

Priority 2: Health & Safety or Property Damage

(Infrastructure related projects that should be completed within 2-6 years)

Category B

Priority 3: Age Related or Required Per New Code

(Program related projects and work that should be completed within 6-10 years)



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MILLER DRISCOLL ELEMENTARY SCHOOL

- MDES was fully renovated and expanded in 2017. All physical aspects of the building were addressed including roof replacement, doors/windows, building systems, and interior finishes.
- During the renovation site improvements included vehicular and pedestrian circulation, entrances, and outdoor play areas.
- The project cost was \$42.3M. The cost/sf at the time was ~\$330/sf. Today the same project would cost ~\$500/sf.
- There are currently no code deficiencies. There are minor roof access recommendations for staff safety.

CONSTRUCTION (YEARS)

- 1966, '69, '90, '96, 2016
- Building Area = 126,761sf

RECOMMENDED IMPROVEMENT COSTS

- Roof Safety = \$17K





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CIDER MILL SCHOOL INFRASTRUCTURE – PRIORITY 1 WORK

- SITE: Sidewalks and drainage
- EXTERIOR BUILDING: Primarily masonry repair
- CODE COMPLIANCE: Rated Construction
- HVAC/MECHANICAL: Chillers and pumps
- PLUMBING: Install backflow preventer
- ELECTRICAL: Circuit breakers and Surge Protection

Priority 1 TOTAL

\$4.1MM

CONSTRUCTION (YEARS)

- 1950, 1957, 1999
- Building Area = 145,300sf





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CIDER MILL SCHOOL INFRASTRUCTURE – PRIORITY 2 WORK

- SITE: Sidewalks, Stairs and Handrails, walls
- EXTERIOR BUILDING: Replace curtainwall
- INTERIOR BUILDING: Replace flooring and acoustic ceilings
- ROOF: Replace EPDM roofing
- HVAC/MECHANICAL: Pipe and air handling units
- PLUMBING: Sprinkler heads + valves

Priority 2 TOTAL

\$12.2MM

RECOMMENDED IMPROVEMENT COSTS

- PRIORITY 1: \$ 4.1M
 - PRIORITY 2: \$12.2M
- TOTAL \$16.3M



Other Observed work items:
Roof and insulation replacement and classroom updates to lighting, casework & furniture. Replace exterior windows and doors.



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CIDER MILL SCHOOL INFRASTRUCTURE ISSUES (EXAMPLES)



Doors, Egress, Acoustics, Flooring.



Spalling brick, exterior Steps/railing



Replace ceiling tiles & lighting



Water Leaks



Poor functioning exterior doors



Water penetration/cracked brick



Non-compliant sprinklers



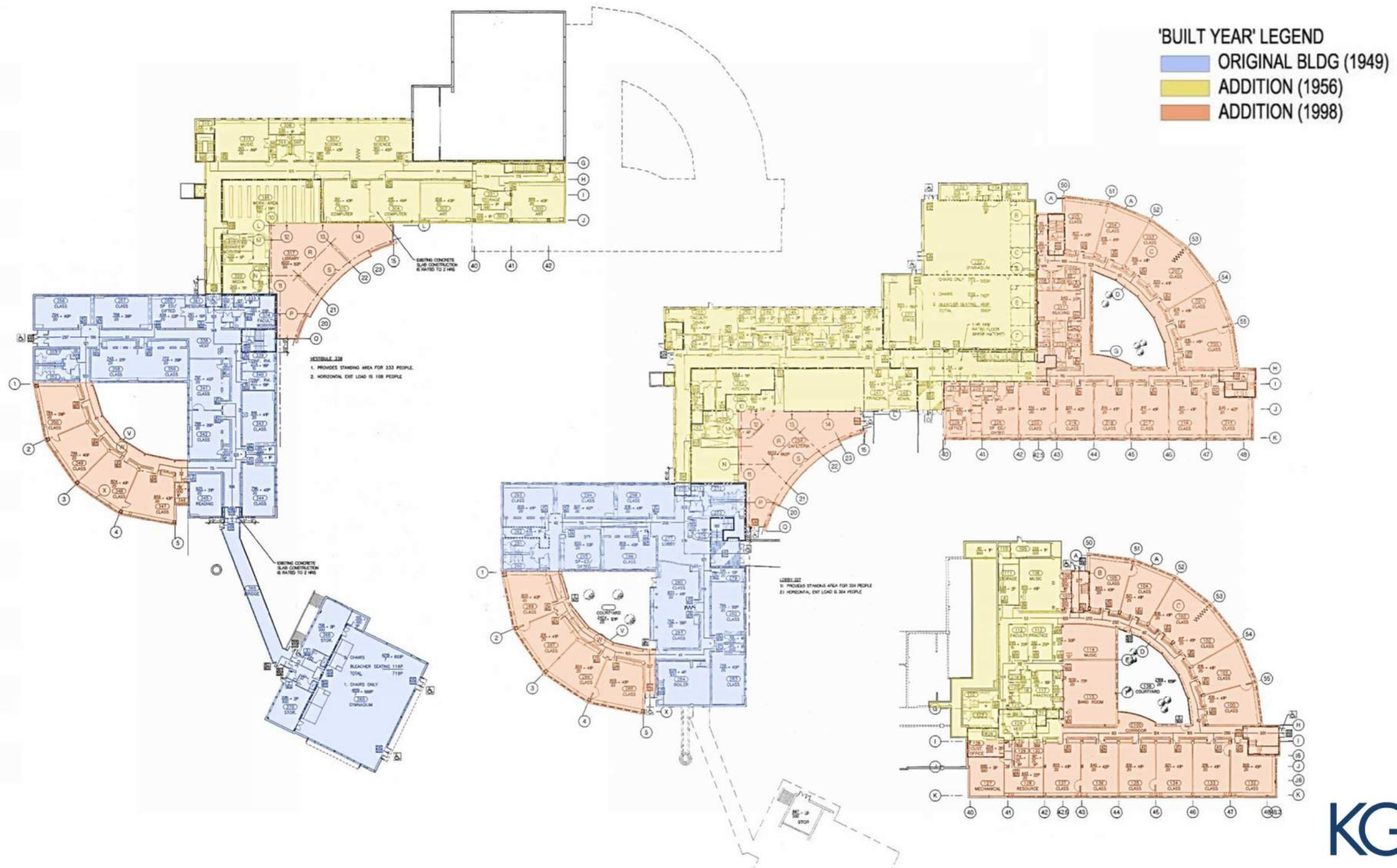
Old Electrical Mains



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CIDER MILL SCHOOL – BUILT YEAR PLAN





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MIDDLEBROOK MIDDLE SCHOOL INFRASTRUCTURE – PRIORITY 1 WORK

- SITE: Repair storm line
- EXTERIOR BUILDING: Replace north curtainwall
- INTERIOR CLASSROOM: Floor remediation/1998 wing
- ROOF: Replace EPDM roof membrane
- PLUMBING: Install backflow preventer
- HVAC: Chillers + Pumps, dual temp pipes + Replace UV

Priority 1 TOTAL

\$6.2MM

CONSTRUCTION (YEARS)

- 1962, 1988, 1993, 1998
- Building Area = 178,115sf





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MIDDLEBROOK MIDDLE SCHOOL INFRASTRUCTURE – PRIORITY 2 WORK

- SITE: Concrete sidewalks and steps/railings/courtyards
- EXTERIOR: Lintels, brick pointing, doors, windows, etc.
- INTERIOR CLASSROOM: ceilings, casework, carpet
- INTERIOR COMMON: Toilet/locker rooms, carpet, ACT
- ROOF: Add ladders, replace gym roof
- HVAC: Replace air handling units and exhaust fans
- PLUMBING: Sprinkler heads, distribution piping
- ELECTRICAL: Replace smoke detectors

Priority 2 TOTAL

\$21.2MM



RECOMMENDED IMPROVEMENT COSTS

- PRIORITY 1: \$ 6.2M
- PRIORITY 2: \$ 21.2M
- TOTAL \$ 27.4M

Other Observed work items:
Site paving. Roof and insulation replacement and classroom updates to doors and lighting; gym floors and theater power, lighting and sound upgrades.



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MIDDLEBROOK MIDDLE SCHOOL INFRASTRUCTURE ISSUES (EXAMPLES)



Replace built-up roofing



Vinyl tile affected by moisture



Lighting and sound system



Acoustic tiles affected by humidity



Poor site drainage



Old lighting, limited acoustic



Rusting/Non-compliant railing



Old windows/limited insulation



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MIDDLEBROOK MIDDLE SCHOOL – BUILT YEAR PLAN





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WILTON HIGH SCHOOL INFRASTRUCTURE – PRIORITY 1 WORK

- PLUMBING: Install backflow preventers
Priority 1 TOTAL \$41K

CONSTRUCTION (YEARS)

- 1970, 2001
- Building Area = 347,188sf





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WILTON HIGH SCHOOL INFRASTRUCTURE – PRIORITY 2 WORK

- SITE: Asphalt Pavement, concrete sidewalks + pavers
- EXTERIOR BUILDING: Lintels, repoint brick, sealants
- INTERIOR COMMON: Lobby pavers, toilets, FH flooring
- CODE: ADA Compliant countertops
- ROOF: Replace built-up roof (2000 bldg.) and skylights
- ELECTRICAL: Main distribution/feeders, add lighting

Priority 2 TOTAL

\$44.2MM

RECOMMENDED IMPROVEMENT COSTS

- PRIORITY 1: \$ 41K
- PRIORITY 2: \$ 44.2M
- TOTAL \$ 44.3M



Other Observed work items:
Roof/insulation and mechanical unit replacement. Replace exterior and interior doors. Theater power, lighting and sound upgrades.



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WILTON HIGH SCHOOL INFRASTRUCTURE ISSUES (EXAMPLES)



Roof replacement



Security, Entrance, Floor tile



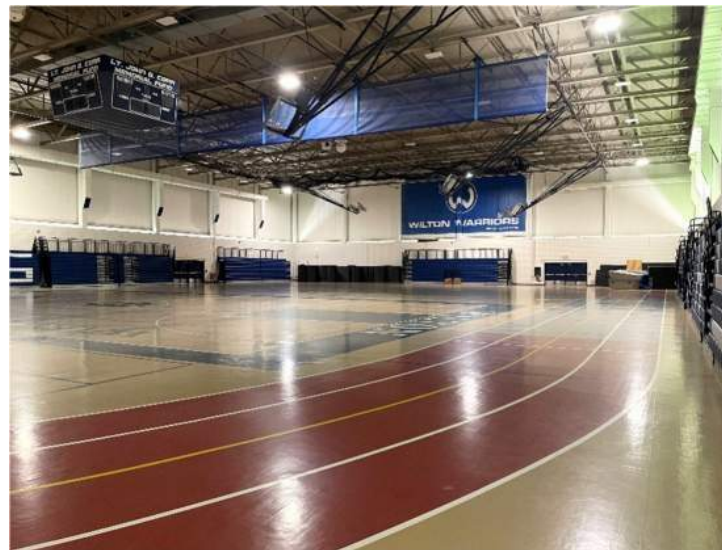
Library vs. Global Learning Center



Water Leaks



Uneven & Spalling pavers



Old Sport Court flooring, lighting



Protruding Display Cabinets



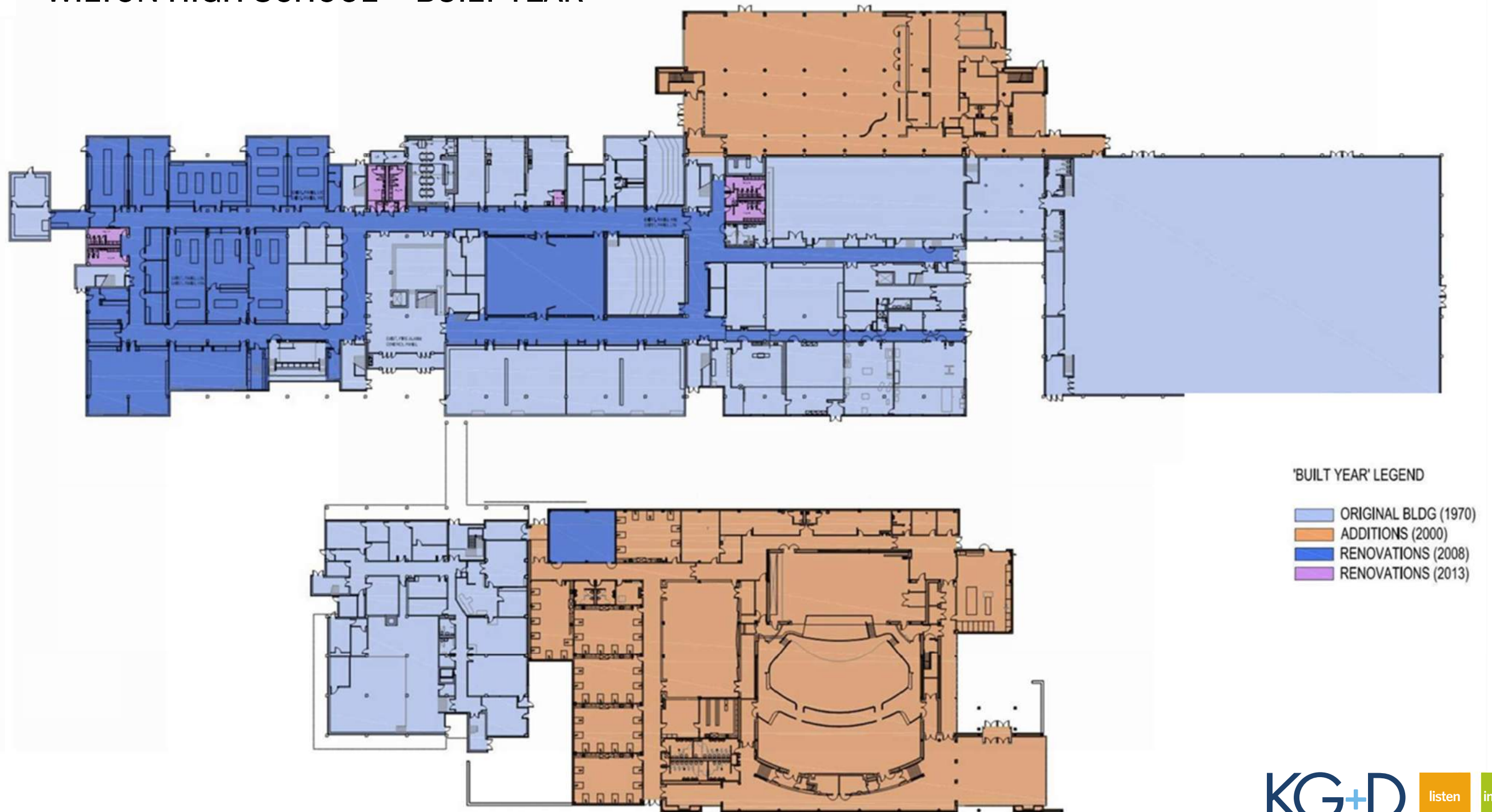
Aged-out siding and windows



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WILTON HIGH SCHOOL – BUILT YEAR





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Facilities Assessment & Ten-Year Long-Range Planning

BUDGET SUMMARY OF RECOMMENDATIONS

PRIORITY ONE (Costs based on approved in 2024)

CIDER MILL SCHOOL	\$ 4.1MM
MIDDLEBROOK MIDDLE SCHOOL	\$ 6.2MM
<u>WILTON HIGH SCHOOL</u>	<u>\$ 41K</u>
TOTAL PRIORITY ONE	\$ 10.4MM

PRIORITY TWO (Costs based on approved in 2025)

CIDER MILL SCHOOL	\$ 12.2MM
MIDDLEBROOK MIDDLE SCHOOL	\$ 21.2MM
<u>WILTON HIGH SCHOOL</u>	<u>\$ 44.2MM</u>
TOTAL PRIORITY TWO	\$ 77.6MM
TOTAL PRIORITIES 1 + 2	\$ 88.0MM

PRIORITY THREE (Costs based on approved in 2031)

CIDER MILL SCHOOL	\$ 14.9MM
MIDDLEBROOK MIDDLE SCHOOL	\$ 6.3MM
<u>WILTON HIGH SCHOOL</u>	<u>\$ 22.9MM</u>
TOTAL PRIORITY THREE	\$ 44.1MM
TOTAL ALL PRIORITIES	\$132.1MM

BASIS OF ESTIMATING

- Direct Construction Costs are based on current construction data developed from recent bidding in the NY/CT metro region.
- Escalation is based on annual 4% average construction increases and industry expert predictions based on current construction environment.
- Soft Costs are limited to professional design fees and misc. surveying, testing, and third-party inspections.
- The majority of the planned work would be administered by the Town of Wilton. About 10% would be administered directly by WPS and their staff.



WILTON PUBLIC SCHOOLS

Facilities Assessment & Ten-Year Long-Range Planning

DEPARTMENT OF ADMINISTRATIVE SERVICES (DAS)
OFFICE OF GRANTS ADMINISTRATION

PROJECT TYPES AVAILABLE FOR GRANT REIMBURSEMENT

FORM SCG-002 (Types pertaining to Facilities Assessment)

- Asbestos / Lead Abatement
- Energy Conservation
- Fire Code / Building Code Violations
- Handicapped Codes
- Indoor Air Quality
- Roof Replacement
- Renovations/Alterations (comprehensive)
- Replacement (comprehensive)

WILTON PUBLIC SCHOOLS REIMBURSEMENT RATE

- 22.86%



	Estimated Cost (\$)	Estimated CT Aid (\$)	Estimated Cost/Town
Priority 1	\$ 10.4MM	\$ 1.1MM	\$ 9.3MM
Priority 2	\$ 77.6MM	\$ 16.2MM	\$ 61.4MM
TOTAL (1-2)	\$ 88.0MM	\$ 17.3MM	\$ 70.6MM
Priority 3	\$ 44.1MM	\$ 9.4MM	\$ 34.7MM
TOTAL (1-3)	\$132.1MM	\$ 26.7MM	\$ 105.4MM



WILTON PUBLIC SCHOOLS

Facilities Assessment & Ten-Year Long-Range Planning

FACILITIES ASSESSMENT BUDGET SPREADSHEET – PRIORITY 1

	Category	Description	Qty	Unit	Unit Cost	Direct Cost	Escalation	Contingency	Professional Fees	Total Cost	Priority	Responsible	State Reimb	Reimb Amount	Approval Year	Build Year
		MILLER DRISCOLL ELEMENTARY SCHOOL									x	x				
		CIDER MILL ELEMENTARY SCHOOL									x	x				
	Site	Add drain structures and piping to alleviate water intrusion South side entry (first floor corridor)	1	allow	\$ 210,000	\$ 231,000	\$ 13,860	\$ 24,486	\$ 19,589	\$ 288,935	1	TOW	No	\$0	2024	2025
	Site	Add drain structures and piping at West Side	1	allow	\$ 190,000	\$ 209,000	\$ 12,540	\$ 22,154	\$ 17,723	\$ 261,417	1	TOW	No	\$0	2024	2025
Exterior Envelope	Masonry	Lintel scrape, repaint, repoint brick over lintel	1346	LF	\$ 144	\$ 213,206	\$ 12,792	\$ 22,600	\$ 18,080	\$ 266,679	1	TOW	No	\$0	2024	2025
	Masonry	Repoint masonry (cast stone) sills	856	LF	\$ 35	\$ 32,956	\$ 1,977	\$ 3,493	\$ 2,795	\$ 41,221	1	TOW	No	\$0	2024	2025
	Masonry	Investigate and repair veneer masonry at NW corner (curved wall)	1	allow	\$ 100,000	\$ 110,000	\$ 6,600	\$ 11,660	\$ 9,328	\$ 137,588	1	TOW	No	\$0	2024	2025
	Masonry	Replace damaged/spalled bricks	200	SF	\$ 75	\$ 16,500	\$ 990	\$ 1,749	\$ 1,399	\$ 20,638	1	TOW	No	\$0	2024	2025
	Masonry	Replace through wall flashing and bricks	1	allow	\$ 15,000	\$ 16,500	\$ 990	\$ 1,749	\$ 1,399	\$ 20,638	1	TOW	No	\$0	2024	2025
	Masonry	Joint below sill at front elev disengaged/ missing	208	LF	\$ 29	\$ 6,635	\$ 398	\$ 703	\$ 563	\$ 8,299	1	TOW	No	\$0	2024	2025
	Masonry	Replace control/ expansion joint sealants	240	LF	\$ 9	\$ 2,376	\$ 143	\$ 252	\$ 201	\$ 2,972	1	TOW	No	\$0	2024	2025
	Masonry	Scrape and repaint painted masonry at window openings	400	SF	\$ 2	\$ 880	\$ 53	\$ 93	\$ 75	\$ 1,101	1	TOW	No	\$0	2024	2025
	Masonry	Repoint brick masonry	54000	SF	\$ 20	\$ 1,188,000	\$ 71,280	\$ 125,928	\$ 100,742	\$ 1,485,950	1	TOW	No	\$0	2024	2025
	Drainage	Repair gutter leak draining onto masonry wall	1	allow	\$ 750	\$ 825	\$ 50	\$ 87	\$ 70	\$ 1,032	1	TOW	No	\$0	2024	2025
Code Updates	Code	Gap at first floor CW/ floor intersection open to floor below	1	allow	\$ 500	\$ 550	\$ 33	\$ 58	\$ 47	\$ 688	1	WPS	No	\$0	2024	2025
HVAC	MEP	Replace air cooled chillers and pumps	1	allow	\$ 1,040,000	\$ 1,144,000	\$ 68,640	\$ 121,264	\$ 97,011	\$ 1,430,915	1	TOW	Yes	\$327,107	2024	2025
	MEP	Install backflow preventer on water service	1	allow	\$ 15,000	\$ 16,500	\$ 990	\$ 1,749	\$ -	\$ 19,239	1	WPS	Yes	\$4,398	2024	2025
Electrical	MEP	Replace 2500A main circuit breaker in switchboard with new 2500A main breaker with internal phase failure protection	1	allow	\$ 55,000	\$ 60,500	\$ 3,630	\$ 6,413	\$ -	\$ 70,543	1	WPS	Yes	\$16,126	2024	2025
	MEP	Replace surge protection on main switchboard	1	allow	\$ 12,375	\$ 13,613	\$ 817	\$ 1,443	\$ -	\$ 15,872	1	WPS	Yes	\$3,628	2024	2025
	MEP	Add surge protection for each mechanical panel	4	allow	\$ 2,250	\$ 9,900	\$ 594	\$ 1,049	\$ -	\$ 11,543	1	WPS	Yes	\$2,639	2024	2025
							CMS	PRIORITY 1		\$ 4,085,271	1	1		\$ 353,899		
		MIDDLEBROOK MS									x	x				
Site	Site	Repair Storm Line, redirect to catch basin	1	EA	\$ 50,000	\$ 55,000	\$ 3,300	\$ 5,830	\$ -	\$ 64,130	1	TOW	No	\$0	2024	2025
	Site	Connect roof drains from 1992-1987 corridor to storm system	1	allow	\$ 25,000	\$ 27,500	\$ 1,650	\$ 2,915	\$ -	\$ 32,065	1	TOW	No	\$0	2024	2025
	Windows	Replace NW portion of Curtain Wall at Lobby	240	SF	\$ 240	\$ 63,360	\$ 3,802	\$ 6,716	\$ 5,373	\$ 79,251	1	TOW	No	\$0	2024	2025
	Floor/wall/ceiling	1998 First Floor Remediation Work	1	EA	\$ 100,000	\$ 110,000	\$ 6,600	\$ 11,660	\$ 9,328	\$ 137,588	1	WPS	No	\$0	2024	2025
Interior Common	Flooring	1998 First Floor Remediation Work	1	EA	\$ 100,000	\$ 110,000	\$ 6,600	\$ 11,660	\$ 9,328	\$ 137,588	1	WPS	No	\$0	2024	2025
	Ceilings	Replace ceiling and grid w/ 2x2	37444	SF	\$ 12	\$ 494,261	\$ 29,656	\$ 52,392	\$ -	\$ 576,308	1	TOW	No	\$0	2024	2025
Code Updates	Code	FDC obscured/ blocked by plantings	1	allow	\$ 1,000	\$ 1,100	\$ 66	\$ 117	\$ -	\$ 1,283	1	TOW	No	\$0	2024	2025
	Roof	Replace EPDM roofing, skylights and ladders	1	allow	\$ 1,600,000	\$ 1,760,000	\$ -	\$ -	\$ -	\$ 1,760,000	1	TOW	No	\$0	2024	2025
HVAC	MEP	Replace air cooled chillers and pumps	1	allow	\$ 901,800	\$ 991,980	\$ 59,519	\$ 105,150	\$ 84,120	\$ 1,240,769	1	TOW	Yes	\$283,640	2024	2025
	MEP	Chilled water/ dual temp piping replacement	1	allow	\$ 1,246,805	\$ 1,371,486	\$ 82,289	\$ 145,377	\$ 116,302	\$ 1,715,454	1	TOW	Yes	\$392,153	2024	2025
	MEP	Replace Unit Ventilators	1	allow	\$ 200,000	\$ 220,000	\$ 15,000	\$ 23,500	\$ 18,800	\$ 277,300	1	TOW	Yes	\$63,391	2024	2025
	MEP	HVAC Unit/ Ductwork/ Controls for Gym	1	allow	\$ 125,000	\$ 137,500	\$ 8,250	\$ 14,575	\$ 11,660	\$ 171,985	1	TOW	Yes	\$39,316	2024	2025
	MEP	Investigate HVAC controls at 1998 wing	1	allow	\$ 20,000	\$ 22,000	\$ 1,320	\$ 2,332	\$ 1,866	\$ 27,518	1	TOW	Yes	\$6,291	2024	2025
	MEP	Install backflow preventer on water service	1	allow	\$ 9,500	\$ 10,450	\$ 627	\$ 1,108	\$ -	\$ 12,185	1	WPS	No	\$0	2024	2025
						MMS	PRIORITY 1			\$ 6,233,422	1	1		\$ 784,790		
		WILTON HS									x	x				
	MEP	Install backflow preventer on water service	1	allow	\$ 9,500	\$ 10,450	\$ 627	\$ 1,108	\$ 886	\$ 13,071	1	TOW	No	\$0	2024	2025
	MEP	Install backflow preventer on storm line- below grade	1	allow	\$ 20,000	\$ 22,000	\$ 1,320	\$ 2,332	\$ 1,866	\$ 27,518	1	TOW	No	\$0	2024	2025
						WHS	PRIORITY 1			\$ 40,588	1	1		\$ -		
WPS	SUMMARY	SCHOOL						PRIORITY		TOTAL	x	x		STATE REIMBURSEMENT	COST TO TAX PAYERS	
		ALL SCHOOLS - PRIORITY 1						1		\$ 10,359,282	1	1		\$1,138,688	\$ 9,220,594	



WILTON PUBLIC SCHOOLS

Facilities Assessment & Ten-Year Long-Range Planning

FACILITIES ASSESSMENT BUDGET SPREADSHEET – PRIORITY 1 (SAMPLE – LEFT COLUMNS)

	Category	Description	Qty	Unit	Unit Cost	Direct Cost
		CIDER MILL ELEMENTARY SCHOOL				
	Site	Add drain structures and piping to alleviate water intrusion South side entry (first floor corridor)	1	allow	\$ 210,000	\$ 231,000
	Site	Add drain structures and piping at West Side	1	allow	\$ 190,000	\$ 209,000
Exterior Envelope	Masonry	Lintel scrape, repaint, repoint brick over lintel	1346	LF	\$ 144	\$ 213,206
	Masonry	Repoint masonry (cast stone) sills	856	LF	\$ 35	\$ 32,956
	Masonry	Investigate and repair veneer masonry at NW corner (curved wall)	1	allow	\$ 100,000	\$ 110,000
	Masonry	Replace damaged/spalled bricks	200	SF	\$ 75	\$ 16,500
	Masonry	Replace through wall flashing and bricks	1	allow	\$ 15,000	\$ 16,500
	Masonry	Joint below sill at front elev disengaged/ missing	208	LF	\$ 29	\$ 6,635
	Masonry	Replace control/ expansion joint sealants	240	LF	\$ 9	\$ 2,376
	Masonry	Scrape and repaint painted masonry at window openings	400	SF	\$2	\$ 880
	Masonry	Repoint brick masonry	54000	SF	\$20	\$ 1,188,000
	Drainage	Repair gutter leak draining onto masonry wall	1	allow	\$ 750	\$ 825
Code Updates	Code	Gap at first floor CW/ floor intersection open to floor below	1	allow	\$ 500	\$ 550
HVAC	MEP	Replace air cooled chillers and pumps	1	allow	\$ 1,040,000	\$ 1,144,000
	MEP	Install backflow preventer on water service	1	allow	\$ 15,000	\$ 16,500
Electrical	MEP	Replace 2500A main circuit breaker in switchboard with new 2500A main breaker with internal phase failure protection	1	allow	\$ 55,000	\$ 60,500
	MEP	Replace surge protection on main switchboard	1	allow	\$ 12,375	\$ 13,613
	MEP	Add surge protection for each mechanical panel	4	allow	\$ 2,250	\$ 9,900



WILTON PUBLIC SCHOOLS

Facilities Assessment & Ten-Year Long-Range Planning

FACILITIES ASSESSMENT BUDGET SPREADSHEET – PRIORITY 1 (SAMPLE – RIGHT COLUMNS)

Direct Cost	Escalation	Contingency	Professional Fees	Total Cost	Priority	Responsible	State Reimb	Reimb Amount	Approval Year	Build Year
					x	x				
\$ 231,000	\$ 13,860	\$ 24,486	\$ 19,589	\$ 288,935	1	TOW	No	\$0	2024	2025
\$ 209,000	\$ 12,540	\$ 22,154	\$ 17,723	\$ 261,417	1	TOW	No	\$0	2024	2025
\$ 213,206	\$ 12,792	\$ 22,600	\$ 18,080	\$ 266,679	1	TOW	No	\$0	2024	2025
\$ 32,956	\$ 1,977	\$ 3,493	\$ 2,795	\$ 41,221	1	TOW	No	\$0	2024	2025
\$ 110,000	\$ 6,600	\$ 11,660	\$ 9,328	\$ 137,588	1	TOW	No	\$0	2024	2025
\$ 16,500	\$ 990	\$ 1,749	\$ 1,399	\$ 20,638	1	TOW	No	\$0	2024	2025
\$ 16,500	\$ 990	\$ 1,749	\$ 1,399	\$ 20,638	1	TOW	No	\$0	2024	2025
\$ 6,635	\$ 398	\$ 703	\$ 563	\$ 8,299	1	TOW	No	\$0	2024	2025
\$ 2,376	\$ 143	\$ 252	\$ 201	\$ 2,972	1	TOW	No	\$0	2024	2025
\$ 880	\$ 53	\$ 93	\$ 75	\$ 1,101	1	TOW	No	\$0	2024	2025
\$ 1,188,000	\$ 71,280	\$ 125,928	\$ 100,742	\$ 1,485,950	1	TOW	No	\$0	2024	2025
\$ 825	\$ 50	\$ 87	\$ 70	\$ 1,032	1	TOW	No	\$0	2024	2025
\$ 550	\$ 33	\$ 58	\$ 47	\$ 688	1	WPS	No	\$0	2024	2025
\$ 1,144,000	\$ 68,640	\$ 121,264	\$ 97,011	\$ 1,430,915	1	TOW	Yes	\$327,107	2024	2025
\$ 16,500	\$ 990	\$ 1,749	\$ -	\$ 19,239	1	WPS	Yes	\$4,398	2024	2025
\$ 60,500	\$ 3,630	\$ 6,413	\$ -	\$ 70,543	1	WPS	Yes	\$16,126	2024	2025
\$ 13,613	\$ 817	\$ 1,443	\$ -	\$ 15,872	1	WPS	Yes	\$3,628	2024	2025
\$ 9,900	\$ 594	\$ 1,049	\$ -	\$ 11,543	1	WPS	Yes	\$2,639	2024	2025
	CMS	PRIORITY 1		\$ 4,085,271	1	1		\$ 353,899		

WILTON PUBLIC SCHOOLS

Facilities Assessment & Ten-Year Long-Range Planning

